

# Southern Planning Committee

## Agenda

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**Date:** Wednesday 5th June 2024  
**Time:** 10.00 am  
**Venue:** Council Chamber, Municipal Buildings, Earle Street, Crewe  
CW1 2BJ

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Please note that members of the public are requested to check the Council's website the week the Southern Planning Committee meeting is due to take place as Officers produce updates for some or all of the applications prior to the commencement of the meeting and after the agenda has been published

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The agenda is divided into 2 parts. Part 1 is taken in the presence of the public and press. Part 2 items will be considered in the absence of the public and press for the reasons indicated on the agenda and at the top of each report.

It should be noted that Part 1 items of Cheshire East Council decision making meetings are audio recorded and the recordings will be uploaded to the Council's website

### **PART 1 – MATTERS TO BE CONSIDERED WITH THE PUBLIC AND PRESS PRESENT**

1. **Apologies for Absence**

To receive apologies for absence.

2. **Declarations of Interest/Pre Determination**

To provide an opportunity for Members and Officers to declare any disclosable pecuniary interests, other registerable interests, and non-registerable interests in any item on the agenda and for Members to declare if they have pre-determined any item on the agenda.

3. **Minutes of Previous Meeting** (Pages 3 - 6)

To approve the minutes of the meeting held on 1 May 2024.

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For requests for further information

**Contact:** Rachel Graves

**E-Mail:** [rachel.graves@cheshireeast.gov.uk](mailto:rachel.graves@cheshireeast.gov.uk)

#### 4. **Public Speaking**

A total period of 5 minutes is allocated for each of the planning applications for the following:

- Ward Councillors who are not members of the Planning Committee
- The relevant Town/Parish Council

A total period of 3 minutes is allocated for each of the planning applications for the following:

- Members who are not members of the planning committee and are not the Ward Member
- Objectors
- Supporters
- Applicants

#### 5. **23/2158C - LAND TO REAR OF 203 AND 205, MIDDLEWICH STREET, CREWE, CHESHIRE: Erection of 2 No. dwelling houses with associated access and landscaping. (Pages 7 - 28)**

To consider the above planning application.

#### 6. **23/2528N - YEW TREE FARM, CLAY LANE, HASLINGTON, CW1 5SQ: Construction of a new warehouse for B8 use, internal access alterations from the existing site, landscaping, and associated works. (Pages 29 - 44)**

To consider the above planning application.

#### **THERE ARE NO PART 2 ITEMS**

**Membership:** Councillors J Bird, J Bratherton (Chair), L Buchanan, A Burton, L Crane, R Fletcher, A Gage, A Kolker (Vice-Chair), R Morris, M Muldoon and J Wray

**CHESHIRE EAST COUNCIL**

Minutes of a meeting of the **Southern Planning Committee**  
held on Wednesday, 1st May, 2024 in the Council Chamber, Municipal  
Buildings, Earle Street, Crewe CW1 2BJ

**PRESENT**

Councillor J Bratherton (Chair)  
Councillor A Kolker (Vice-Chair)

Councillors L Buchanan, A Burton, L Crane, S Edgar, R Moreton and  
M Muldoon

**OFFICERS IN ATTENDANCE**

Dan Evans, Principal Planning Officer  
Andrew Goligher, Highways Officer  
Andrew Poynton, Planning and Highways Lawyer  
Rachel Graves, Democratic Services Officer

**78 APOLOGIES FOR ABSENCE**

Apologies were received from Councillors R Bailey and J Wray. Councillor  
S Edgar attended as a substitute for Councillor Bailey.

**79 DECLARATIONS OF INTEREST/PRE DETERMINATION**

No declarations of interest were made.

**80 MINUTES OF PREVIOUS MEETING****RESOLVED:**

That the minutes of the meeting held on 3 April 2024 be approved as a  
correct record.

**81 PUBLIC SPEAKING**

The public speaking time procedure was noted.

**82 23/3881N - TELFORD COURT, DUNWOODY WAY, CREWE, CW1  
3AW:FULL PLANNING APPLICATION FOR THE ERECTION OF A 24-  
BED SPECIALIST CARE UNIT (USE CLASS C2) WITH ANCILLARY  
PARKING AND SERVICING**

Consideration was given to the above planning application.

The following attended the meeting and spoke in relation to the  
application:

Mr Steve Buckley (agent).

**RESOLVED:**

That for the reasons set out in the report the application be APPROVED, subject to the following conditions:

- 1 Standard Time
- 2 Approved Plans
- 3 Materials as proposed
- 4 Landscaping plan
- 5 Landscaping implementation
- 6 Boundary treatment
- 7 External lighting plan
- 8 Provision of the new pedestrian crossing and new access
- 9 Submission of car park management plan
- 10 EV Charging Provision
- 11 Low emission boilers
- 12 Sustainable travel plan
- 13 Contaminated land method statement
- 14 Contaminated land – verification report
- 15 Soil importation
- 16 Unexpected contamination
- 17 Updated foul and surface water damage schemes
- 18 Sustainable drainage management and maintenance plans
- 19 AIA and AMS implementation
- 20 Bin and cycle store
- 21 Submission of a revised parking plan to show the provision of an additional 2 disabled spaces within the site.

In order to give proper effect to the Committee's intentions and without changing the substance of the decision, authority is delegated to the Head of Planning in consultation with the Chair (or in their absence the Vice Chair) of Southern Planning Committee, to correct any technical slip or omission in the wording of the resolution, between approval of the minutes and issue of the decision notice.

**83 PLANNING ENFORCEMENT PERFORMANCE UPDATE**

The Committee considered the report on the performance of planning enforcement during the last quarter of 2022/2023 and the year of 2023/2024.

**RESOLVED:**

That the report be noted.

The meeting commenced at 10.00 am and concluded at 10.35 am

Councillor J Bratherton (Chair)

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Application No: 23/2158C

Location: Land To Rear Of 203 And 205, MIDDLEWICH STREET, CREWE, CHESHIRE

Proposal: Erection of 2 No. dwelling houses with associated access and landscaping.

Applicant: Mr Nicholas Reynolds, NAW Reynolds Building (Marthall) Ltd

Expiry Date: 12-Jun-2024

### **SUMMARY**

The application site is found to the rear of 203 and 205 Middlewich Street within the settlement boundary of Crewe.

The site is within the Crewe Settlement Boundary, and there is existing residential development to all sides of the application site.

Policy PG9 of the SADPD states that:

*'Within settlement boundaries, development proposals (including change of use) will be supported where they are in keeping with the scale, role and function of that settlement and do not conflict with any other relevant policy in the local plan'.*

Following on from the above, Policy HOU16 of the SADPD states that:

*'The particular benefits of providing well-designed new homes on small and medium-sized sites, up to 30 homes, will be given positive weight in determining planning applications'*

The principle of residential development on the application is considered to be acceptable.

The proposed development will not have an adverse impact upon neighbouring amenity. It achieves an acceptable standard of design which respects the pattern, character and form of the surroundings. There are adequate access arrangements, drainage, utilities and existing infrastructure.

### **SUMMARY RECOMMENDATION**

**Approve with conditions**

## **REASON FOR DEFERRAL**

This application has been deferred from the Southern Planning Committee meeting of 10<sup>th</sup> January 2024 to allow for consultation with the Lead Local Flooding Authority.

The application was then deferred from the Southern Planning Committee meeting of 6<sup>th</sup> March 2024 to require an in depth Flood Risk Assessment to consider existing flooding at the site and consequences from this proposal and a site visit by the relevant Local Lead Flood Authority Officer (LLFA) and their attendance at the committee meeting.

## **REASON FOR REFERRAL**

The application has also been the subject of a call-in request by Cllr Jill Rhodes for the following reasons:

*'The applicant does not own the means of access to the site. Nor is it a public highway. This is a private parking area for houses on Russet Close.*

*'The proposed access road where it passes between the 2 houses is not wide enough for a refuse or emergency vehicle'*

This application has been deferred from the Committee meeting of 6<sup>th</sup> March 2024 to allow for the Council's Flood Risk Officer to visit the site.

## **SITE DESCRIPTION**

The application site is found to the rear of 203 and 205 Middlewich Street within the settlement boundary of Crewe.

The site itself formed part of the rear gardens of 203 and 205 Middlewich Street

There is existing residential development to all sides of the application site.

## **PROPOSAL**

This application seeks full planning permission for the erection of a pair of semi-detached two storey dwellings with associated access and landscaping. The vehicular access to the site will be taken from Russet Close.

## **RELEVANT HISTORY**

17/4594N - Single storey side and rear facing extension - Approved with conditions 2012

12/1129N - Rear First Floor Extension - Approved with conditions 2012

P07/1463 - Outline Application for One Pair of Semi-Detached Two Storey Houses – Withdrawn

P01/0176 - Detached Garage – Approved with conditions 2001

P99/0733 – Garage – Approved 1999

7/16329 - Bedroom and garage extension – Approved 1988

7/12494 - Vehicular access – approved 1985

7/11394 - Extensions and alterations – approved 1984

## **PLANNING POLICY**

### ***Cheshire East Local Plan Strategy (CELPS)***

PG.1 - Overall Development Strategy

PG.2 – Settlement Hierarchy

PG.7 - Spatial Distribution of Development

SD.1 - Sustainable Development in Cheshire East

SD.2 - Sustainable Development Principles

IN.1 – Infrastructure

IN.2 - Developer contributions

SE.1 – Design

SE.2 - Efficient use of land

SE.3 - Biodiversity and geodiversity

SE.4 - The Landscape

SE.5 - Trees, Hedgerows and Woodland

SE.6 - Green Infrastructure

SE.9 - Energy Efficient Development,

SE.12 - Pollution, Land contamination and land instability

SE.13 - Flood risk and water management

CO.1 - Sustainable Travel and Transport

### ***Site Allocations and Development Policies Document***

PG.9 – Settlement Boundaries

GEN.1 – Design Principles

ENV.1 – Ecological Network

ENV.2 – Ecological Implementation

ENV.3 – Landscape Character

ENV.5 – Landscaping

ENV.6 – Trees, Hedgerows and Implementation

ENV.16 – Surface Water Management and Flood Risk

HOU.8 – Space, Accessibility and Wheelchair Housing Standards

HOU.10 – Backland Development

HOU.11 – Extensions and Alterations

HOU.12 – Amenity

HOU.13 – Residential Standards

HOU.14 – Housing Density

HOU.15 – Housing Delivery

HOU.16 – Small and Medium-sized Sites

INF.3 – Highway Safety and Access

## Neighbourhood Plan

There is no Neighbourhood Plan in Crewe.

## National Planning Policy Framework

### CONSULTATIONS (EXTERNAL TO PLANNING)

**Highways** – No objection.

**United Utilities** - No objection subject to the imposition of a drainage condition.

**CEC Flood Risk** – No objection subject to a condition requiring the proposed development to be carried out in accordance with the submitted drainage strategy and drainage layout.

**Environmental Protection** – No objection, subject to the imposition of conditions relating to EV charging and contaminated land (x4).

### TOWN COUNCIL COMMENTS

**Crewe Town Council:** Objects to the proposal on the following grounds

- Back land development in this location demonstrates over development of the site with an overcrowding effect from the proposed development.
- Inadequate access to support development, e.g. access by waste and emergency services.
- Loss of amenity to existing residents of Russet Close due to proximity of access and additional traffic.
- Access does not provide a safe highway, including lack of identified pedestrian pavement.
- Risk to established trees.
- Loss of amenity due to loss of privacy based on overlooking nature of the proposed development.
- Inadequate access for waste services past the current extent of Russet Close, leading to on street waste.
- Loss of biodiversity, against CE Planning Policy requiring net biodiversity gain.

### REPRESENTATIONS

Neighbour notification letters were sent to all adjacent occupants, a site notice was erected. In response, there have been letters of representation received from 9 addresses objecting to the proposal for the following reasons:

- Overlooking
- Loss of trees
- Lack of infrastructure
- Loss of privacy
- Substandard access
- Ownership of access
- Previous refusals
- Boundary treatments
- Trees and landscaping

- Unclaimed land being used as a dumping ground
- Highway safety
- Saturation of residential dwellings
- Increase in drainage problems
- Impact of ecology
- Over development
- Existing issues on Russet Close

## **APPRAISAL**

### **Principle of Development**

The application site is located within the settlement boundary of Crewe, and within a predominantly residential area.

Policy PG.9 of the SADPD states that:

*'Within settlement boundaries, development proposals (including change of use) will be supported where they are in keeping with the scale, role and function of that settlement and do not conflict with any other relevant policy in the local plan'.*

Following on from the above, Policy HOU.16 of the SADPD states that:

*'The particular benefits of providing well-designed new homes on small and medium-sized sites, up to 30 homes, will be given positive weight in determining planning applications'.*

Policy HOU.10 (Backland Development) of the SADPD states that proposals for tandem or backland development will only be permitted where they:

- 1. demonstrate a satisfactory means of access to an existing public highway in accordance with Policy INF 3 'Highway safety and access', that has an appropriate relationship with existing residential properties.*
- 2. do not cause unacceptable harm to the amenity of the residents of existing or proposed properties, in accordance with Policy HOU 12 'Amenity'*
- 3. are equal or subordinate in scale to surrounding buildings, particularly those fronting the highway; and*
- 4. are sympathetic to the character and appearance of the surrounding area through its form, layout, boundary treatments and other characteristics.*

Notwithstanding the above, the scheme is also aligned with housing delivery policies; PG1, PG2 and PG7 of the CELPS. As such, the principle of erecting dwellings in this location is acceptable subject to the scheme's adherence with other relevant local plan policies. These are considered below.

## Design

Policy GEN.1 of the SADPD states that development proposals should:

- *create high quality, beautiful and sustainable buildings and places, avoiding the imposition of standardised and/or generic design solutions where they do not establish and/or maintain a strong sense of quality and place*
- *reflect the local character and design preferences set out in the Cheshire East Borough Design Guide supplementary planning document unless otherwise justified by appropriate innovative design or change that fits in with the overall form and layout of their surroundings*

As noted above there are also design requirements within policy HOU10 (Backland Development) of the SADPD (see points 3 and 4).

The two proposed dwellings would be two storey and will be read in context with the existing dwellings on Russet Close. They will have a slightly lower roof height than these properties and be of a similar sized footprint, as such they will be subordinate in scale and will not lead to any significant visual impact. Furthermore, given the above, there will not be any over domination of the properties along Middlewich Street or Greenway.

Following on from the above, the proposed dwellings are relatively simple in design and are of a similar appearance to those along Russet Close. The layout of the proposed development will be similar to that of Russet close (which have previously been constructed on a backland site).

With regard to boundary treatments, a condition will be attached to any permission requiring the submission and approval of these details before commencement of the development. However, the submitted plans indicate that timber fencing up to 1.8 metres in height, this is considered to be acceptable in this location.

With the above in mind, it is considered that the proposed development will be subordinate to the existing neighbouring development and will be sympathetic to the character and appearance of the surrounding area.

There is a substantial turning area to the front of the proposed dwelling to allow for a turning head for emergency vehicles should the need arise. While this amount of hardstanding is not ideal, it will have very limited public viewpoints and no visual impact on the existing street scene. Given this, it is not considered that this would be a sustainable reason for refusal.

There will be limited viewpoints of the proposed dwellings from Middlewich Street or Greenway, as such there will not be any significant visual impact on either of these two street scenes. The proposed dwellings will be a little more visible from Russet Close, however they will be read in context with these existing dwellings and have no significant visual impact on the street scene of Russet Close.

Overall, it is considered that the proposed development is of an acceptable design that is sympathetic to the existing development and will not have any significant visual impact on the street scene. As such, it is considered that the proposal is in accordance with Policies SE.1 of the CELPS and GEN.1 and HOU.10 of the SADPD.

## Residential Amenity

Policy HOU.12 states that:

Development proposals must not cause unacceptable harm to the amenities of adjoining or nearby occupiers of residential properties, sensitive uses, or future occupiers of the proposed development due to:

1. *loss of privacy;*
2. *loss of sunlight and daylight;*
3. *the overbearing and dominating effect of new buildings;*
4. *environmental disturbance or pollution; or*
5. *traffic generation, access and parking.*

Policy HOU.13 of the SADPD sets out residential standards for new development and states that proposals for housing development should generally:

- i. meet the standards for space between buildings as set out in Table 8.2 'Standards for space between buildings', unless the design and layout of the scheme and its relationship to the site and its characteristics provides an adequate degree of light and privacy between buildings; and*
- ii. include an appropriate quantity and quality of outdoor private amenity space, having regard to the type and size of the proposed development.*

There are neighbouring residential dwellings to all four sides of the application site.

The dwelling to the south stands approximately 19.5 metres away (at the closest point) and has a side elevation facing towards the application site. This relationship between the two properties will be side-to-side elevation and will not be directly facing. As such it is not considered that there will be impact on neighbouring residential amenity from this perspective.

The closest neighbouring dwellings to the north are 14 and 15 Russet Close which both have rear elevations facing towards the application site. These elevations will be off set from the proposed dwellings and stand approximately 15.5 metres away from the nearest of the two proposed dwellings. Given the off-set relationship, it is considered that the impact upon neighbouring residential amenity is acceptable.

The existing dwellings to the west, along Greenway, will share a principal elevation to principal elevation relationship with the two proposed dwellings. There will be a separation distance of approximately 38 metres between the facing elevations, this distance in excess of the recommended separation distance (21 metres) as prescribed in table 8.2 of Policy HOU.13 for a back-to-back facing habitable rooms. Therefore, it is considered that there will be impact on neighbouring residential amenity.

The existing dwellings to the east, along Middlewich Street, will share a principal elevation to principal elevation relationship with the proposed dwellings. The distance between these two elevations is approximately 40 metres at the closest point. As with above, this is in excess of the recommended 21 metres. As a result, it is not considered that there will be impact on the neighbouring residential amenity of the existing dwellings to the east.

Each of the proposed dwellings will have a reasonable amount of private amenity space in accordance with Policy HOU.13 and exceed the 50sqm set out in the Crewe and Nantwich SPD.

Overall, it is considered that the proposed development will not have any significant impact on neighbouring residential amenity or the future occupiers of the proposed development. As such, it is considered to be in accordance with Policy HOU.12 and HOU.13 of the SADPD.

### **Space Standards**

Policy HOU.8 of the SADPD states that:

*'Proposals for new residential development in the borough should meet the Nationally Described Space Standard'.*

The above standards require a two bedroom two storey dwelling with three bed spaces to have an internal floor area of 70sq metres. Both of the proposed dwellings have an internal floor area of 73sq metres.

Therefore, the residential element of the proposed development is in accordance with Policy HOU.8 of the SADPD.

### **Highway Safety / Access / Parking**

Policy INF.3 of the SADPD states that development proposals should:

- comply with the relevant Highway Authority's and other highway design guidance.
- provide safe access to and from the site for all highway users and incorporate safe internal movement in the site to meet the requirements of servicing and emergency vehicles.
- make sure that development traffic can be satisfactorily assimilated into the operation of the existing highway network so that it would not have an unacceptable impact on highway safety or result in severe residual cumulative impacts on the road network.
- incorporate measures to assist access to, from and within the site by pedestrians.

The proposal is for 2 dwellings to the rear of existing properties, with off-road parking and an existing access via Russet Close.

The access will be taken via Russet Close which is a small cul-de-sac and forms part of the public highway. The site access is a private drive with a width of approximately 3.5m-4m, it is effectively single car width and serves the car parking spaces for two existing properties. As the access is off a quiet cul-de-sac and the vehicle numbers that would use it would be small, it does not raise a highways safety concern.

There would be sufficient parking for the existing and the new properties and refuse collection would be the same arrangement as for the existing properties.

Overall, the Council's Highways Officer considers that the parking and access are acceptable, and no objection is raised.

## Landscape and Trees

Policy SE.5 of the CELPS states that:

*Development proposals which will result in the loss of, or threat to, the continued health and life expectancy of trees, hedgerows or woodlands (including veteran trees or ancient semi-natural woodland), that provide a significant contribution to the amenity, biodiversity, landscape character or historic character of the surrounding area, will not normally be permitted, except where there are clear overriding reasons for allowing the development and there are no suitable alternatives. Where such impacts are unavoidable, development proposals must satisfactorily demonstrate a net environmental gain by appropriate mitigation, compensation or offsetting. The council will seek to ensure:*

- 1. The sustainable management of trees, woodland and hedgerows including provision of new planting within the infrastructure of new development proposals to provide local distinctiveness within the landscape, enable climate adaptation resilience, and support biodiversity;*
- 2. The planting and sustainable growth of large trees within new development as part of a structured landscape scheme in order to retain and improve tree canopy cover within the borough as a whole.*

At present the application site is formerly garden of 203 and 205 Middlewich Street and is now generally overgrown and while there are some trees present these are not considered to be specimens worthy of formal protection. Further to this, the Council's Arboriculturist does not consider that there will be any significant arboricultural implications arising from the proposed development.

Notwithstanding the above, a condition will be attached to any permission requiring strict adherence to the submitted landscaping scheme.

Overall, it is considered that the proposed development will not pose any significant landscape or arboricultural issues, as such the application proposal is therefore considered to adhere with Policy SE5 of the CELPS.

## Ecology

The Council's Ecologist is satisfied that the proposed development will not have any significant impact on Protected Species or ecology in general. However, it is advised that a condition be attached to any permission requiring the submission of an ecological enhancement strategy (this would include bird and bat boxes, and a lighting strategy).

At the last committee meeting Members discussed the impact upon Hedgehogs (although this was not a reason for deferral). The conditions have been updated to secure hedgehog gaps within the boundary treatment and to require native planting.

Subject to the above recommended conditions, it is considered that the proposal would adhere with Policies SE.3 of the CELPS and ENV.3 of the SADPD.

## **Drainage**

United Utilities have reviewed the application and advised that they have no objections subject to a number of conditions.

Following the deferral of the application at the Southern Planning Committee meeting on 6<sup>th</sup> March the Council's Flood Risk Officer has carried out a site visit. The Flood Risk Officer has confirmed that the ground appears clay like and that this is consistent with the soakaway tests undertaken. The soakaway tests have been carried out by the applicant and this confirms that soakaways will not be suitable for the ground conditions due to negligible infiltration.

A detailed drainage design has been provided and this shows that an underground storage tank would be constructed to serve this development. This tank is designed for the 1 in 100 years return period + 45% climate change factor. The surface water flow from the tank would then be limited to 2.0 litres per second using a flow control into an existing combined sewer within Russet Close.

Following on from the above, the Council's Flood Risk Officer is satisfied with the submitted Drainage Strategy, Drainage Layout and Surface Water Drainage Calculations, and considers that there are no significant flood risk or surface water concerns.

As such, subject to the recommended conditions, it is considered that the proposed development would adhere with Policy SE.13 of the CELPS.

## **Other Matters**

The other planning applications/issues relating to Russet Close are separate issues and not material planning considerations for this application.

The unclaimed land between the western edge of the site and the rear gardens of the dwellings on Greenway is outside of the application red edge. The maintenance and ownership of this land is a matter for consideration.

Any easement over the access road leading to the application site is a private matter between the interested parties.

The fact that the proposed dwellings may be rental properties is not a material planning consideration.

## **CONCLUSIONS AND REASON(S) FOR THE DECISION**

The proposed development is acceptable in principle, it will not have an adverse impact upon neighbouring amenity. It achieves an acceptable standard of design which respects the pattern, character and form of the surroundings. There are adequate access arrangements, drainage, utilities and existing infrastructure.

## **RECOMMENDATION**

**APPROVE** subject to the following conditions

- 1. Three year time limit**
- 2. Approved plans**
- 3. Materials as submitted**
- 4. Landscaping submission of a scheme (including native planting to the public areas)**
- 5. Landscape implementation**
- 6. Submission of boundary treatments (including gaps for hedgehogs)**
- 7. Removal of PD rights (Classes A, AA, B, C and E)**
- 8. Provision of EV charging points**
- 9. No removal of vegetation between 1<sup>st</sup> March and 31<sup>st</sup> August**
- 10. Submission of ecological enhancement**
- 11. Finished floor levels**
- 12. Testing of imported soil**
- 13. Reporting of not previously identified land contamination**
- 14. Access and Parking to be provided and made available for use prior to first occupation**
- 15. Submission of updated drainage strategy**
- 16. Submission of sustainable drainage management plan**

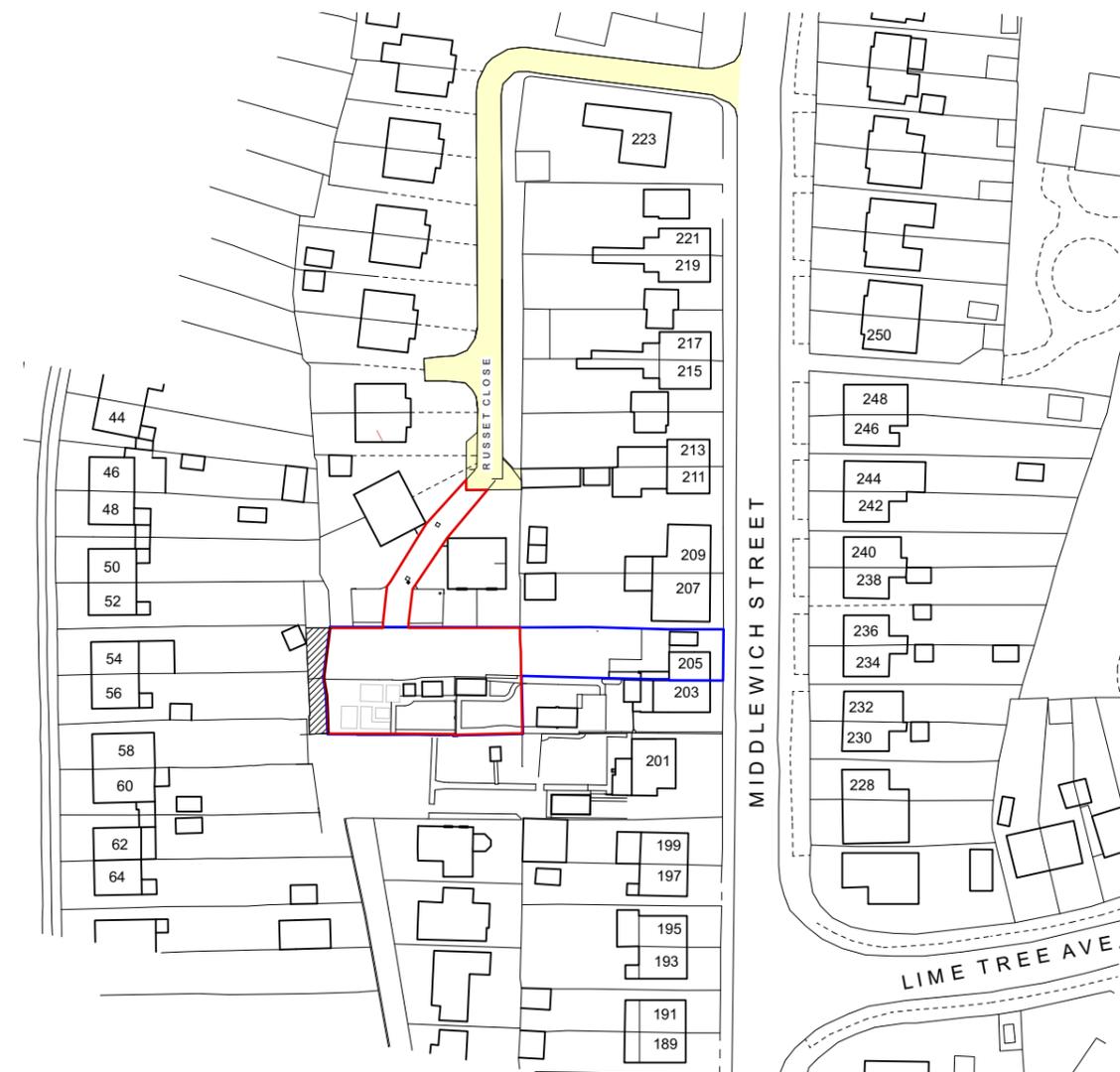
**In order to give proper effect to the Committee`s intent and without changing the substance of its decision, authority is delegated to the Head of Planning (Regulation) in consultation with the Chair (or in their absence the Vice Chair) to correct any technical slip or omission in the resolution, before issue of the decision notice.**



23/2158C

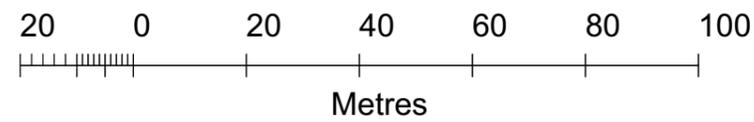
Land to rear of 203 and 205  
MIDDLEWICH STREET  
CREWE

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 Contractor to check all dimensions and levels on site prior to commencement and inform architect in writing of any inaccuracies to drawings. All contractors are to be responsible for taking and checking all dimensions relative to their work. All noted dimensions are in millimetres unless stated otherwise. To be read in conjunction with all other consultants' drawings, specifications and schedules. In the event of uncertainty, please consult the Architect.



**Key:**

- Site Application Boundary
- Ownership Boundary
- Unclaimed land
- Adopted road / access to site



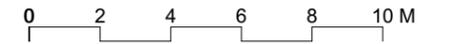
**REV A (14.06.2023) HOUSE NUMBERS ADDED TO MAP AS REQUESTED. (SD)**

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Trafalgar House, 5-7 High Lane, Chorlton-Cum-Hardy, Manchester, M21 9DJ t (0161) 8813031  
 The Island, Castleton, Hope Valley, Derbyshire, S33 8WN t (01433) 695560  
 e info@darwentarchitecture.co.uk w www.darwentarchitecture.co.uk  
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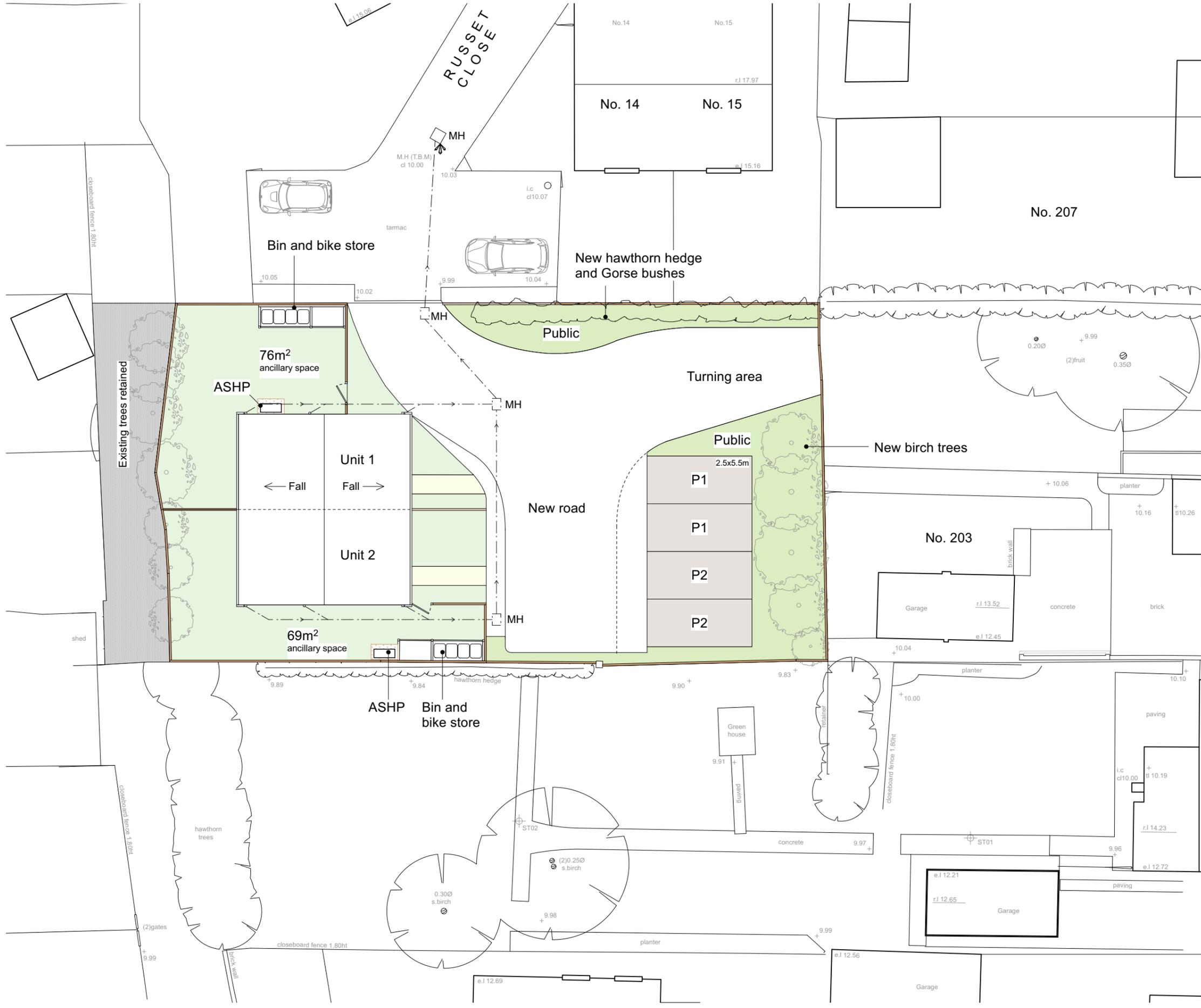
PROJECT 203-205 Middlewich Street, Crewe, CW1 4DN			
CLIENT Nick Reynolds			
DWG. NO. 207_PL001	Location Plan	REVISION A	DRAWN BY JH
DATE May 2023	ISSUE Planning Issue	SCALE 1:1250@A3	

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**Key:**

- Tarmac
- Permeable paving
- Private lawns
- Public areas (grass)
- Timber fences @ 1.8m tall
- Timber fences @ 1m tall

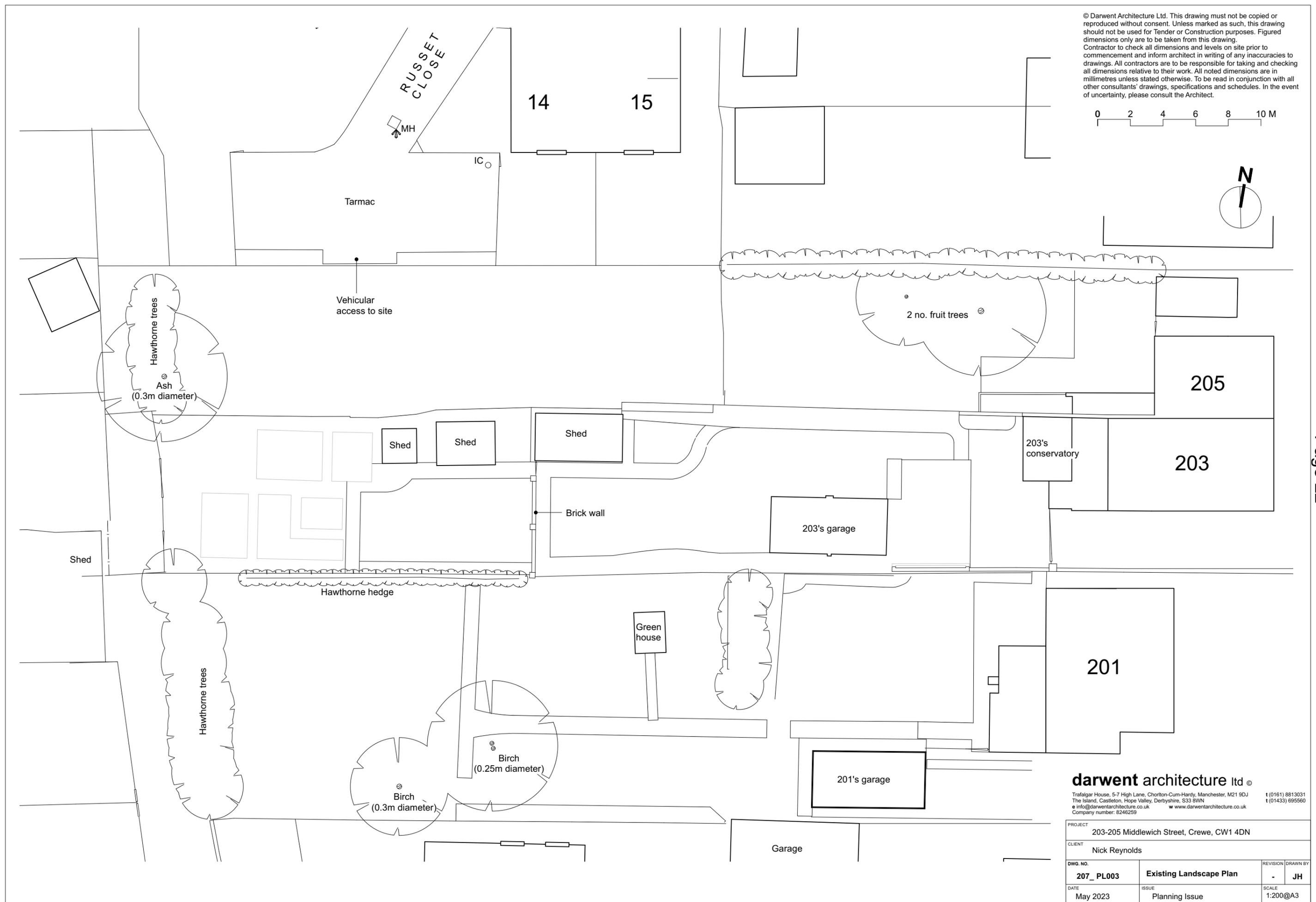
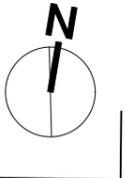


**REV A (23.11.2023)** Fence line adjusted to increase garden amenity space of Unit 2. (JD)

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 Company number: 8246259

PROJECT 203-205 Middlewich Street, Crewe, CW1 4DN			
CLIENT Nick Reynolds			
DWG. NO. 207_PL004	Proposed Landscape and Roof Plan	REVISION A	DRAWN BY JH
DATE May 2023	ISSUE Planning Issue	SCALE 1:200@A3	

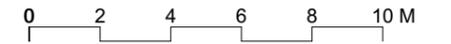
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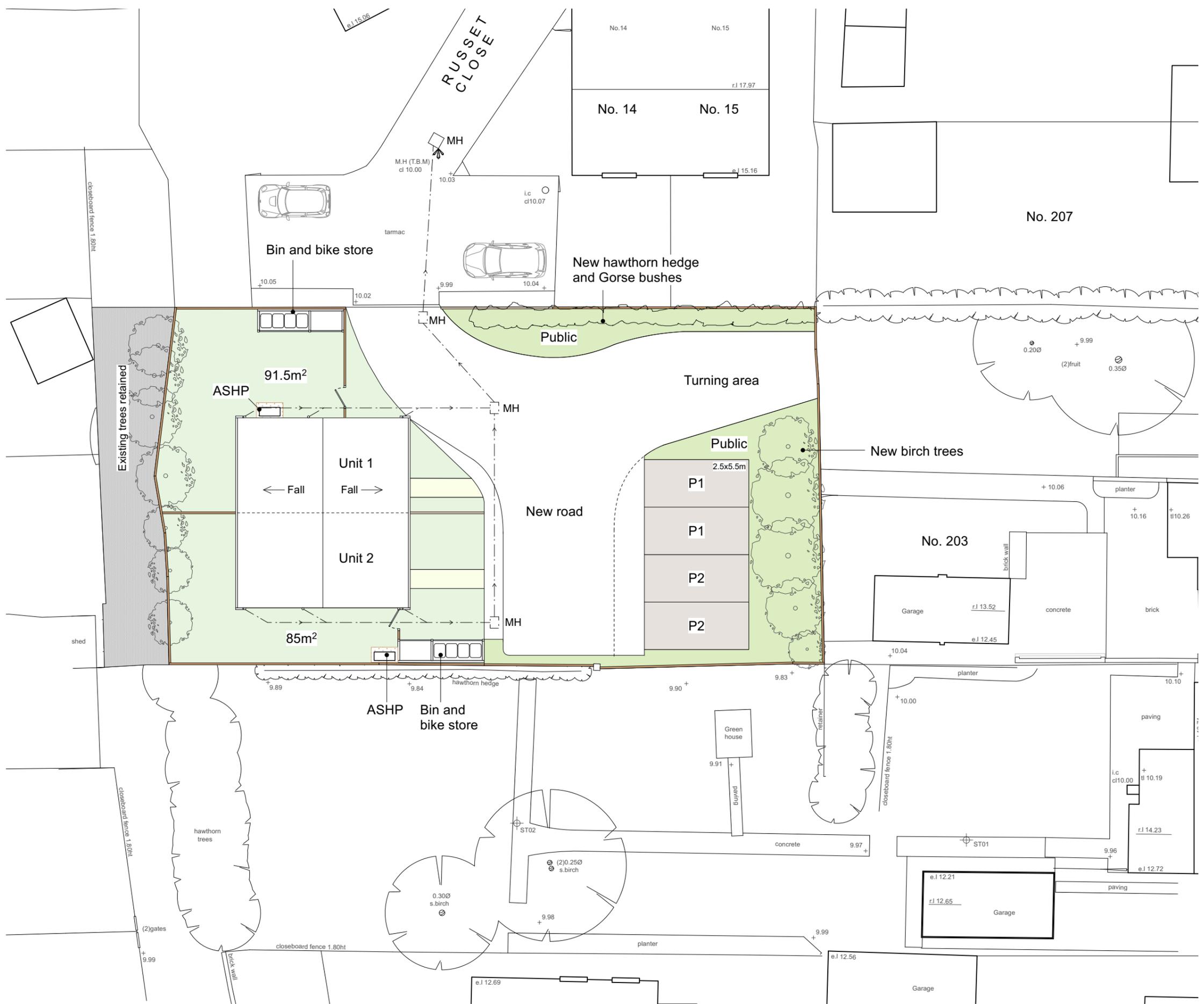
PROJECT 203-205 Middlewich Street, Crewe, CW1 4DN			
CLIENT Nick Reynolds			
DWG. NO. 207_PL003	EXISTING LANDSCAPE PLAN		REVISION -
DATE May 2023	ISSUE Planning Issue	DRAWN BY JH	
		SCALE 1:200@A3	

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**Key:**

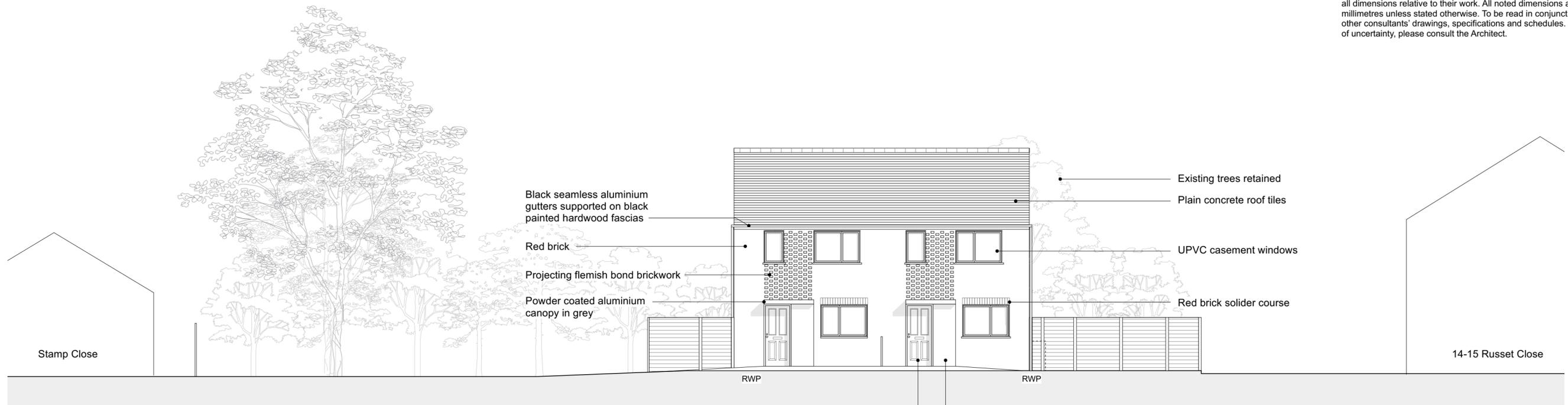
- Tarmac
- Permeable paving
- Private lawns
- Public areas (grass)
- Timber fences @ 1.8m tall
- Timber fences @ 1m tall



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PROJECT 203-205 Middlewich Street, Crewe, CW1 4DN			
CLIENT Nick Reynolds			
DWG. NO. 207_PL004	Proposed Landscape and Roof Plan	REVISION -	DRAWN BY JH
DATE May 2023	ISSUE Planning Issue	SCALE 1:200@A3	

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East (Front) Elevation



West (Rear) Elevation

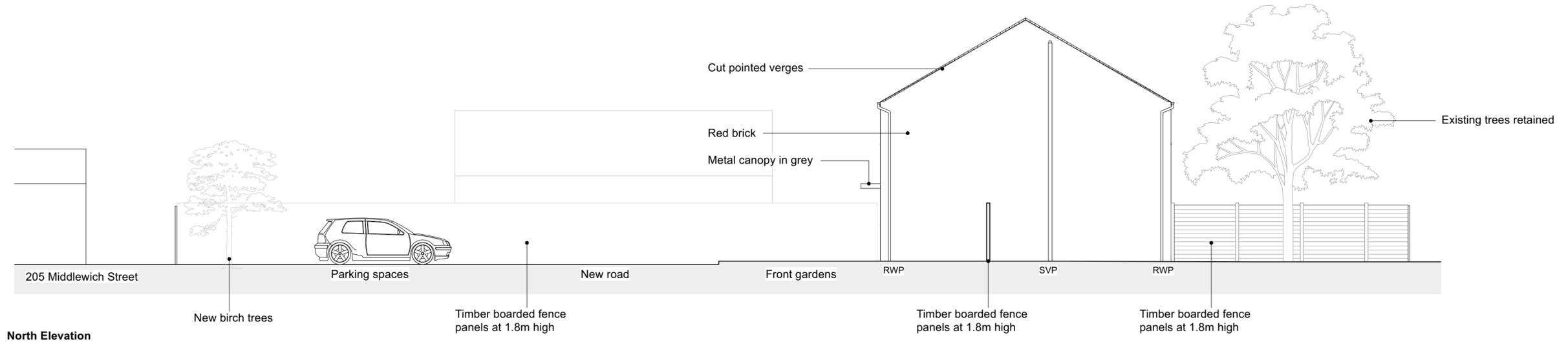


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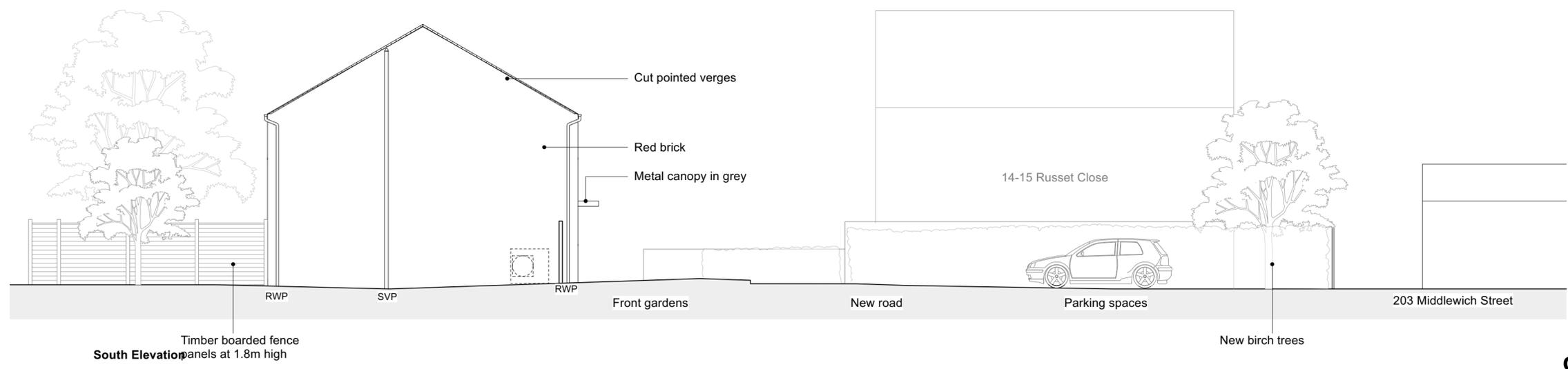
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PROJECT 203-205 Middlewich Street, Crewe, CW1 4DN			
CLIENT Nick Reynolds			
DWG. NO. 207_PL006	Proposed Elevations	REVISION -	DRAWN BY JH
DATE May 2023	ISSUE Planning Issue	SCALE 1:100@A2	

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North Elevation



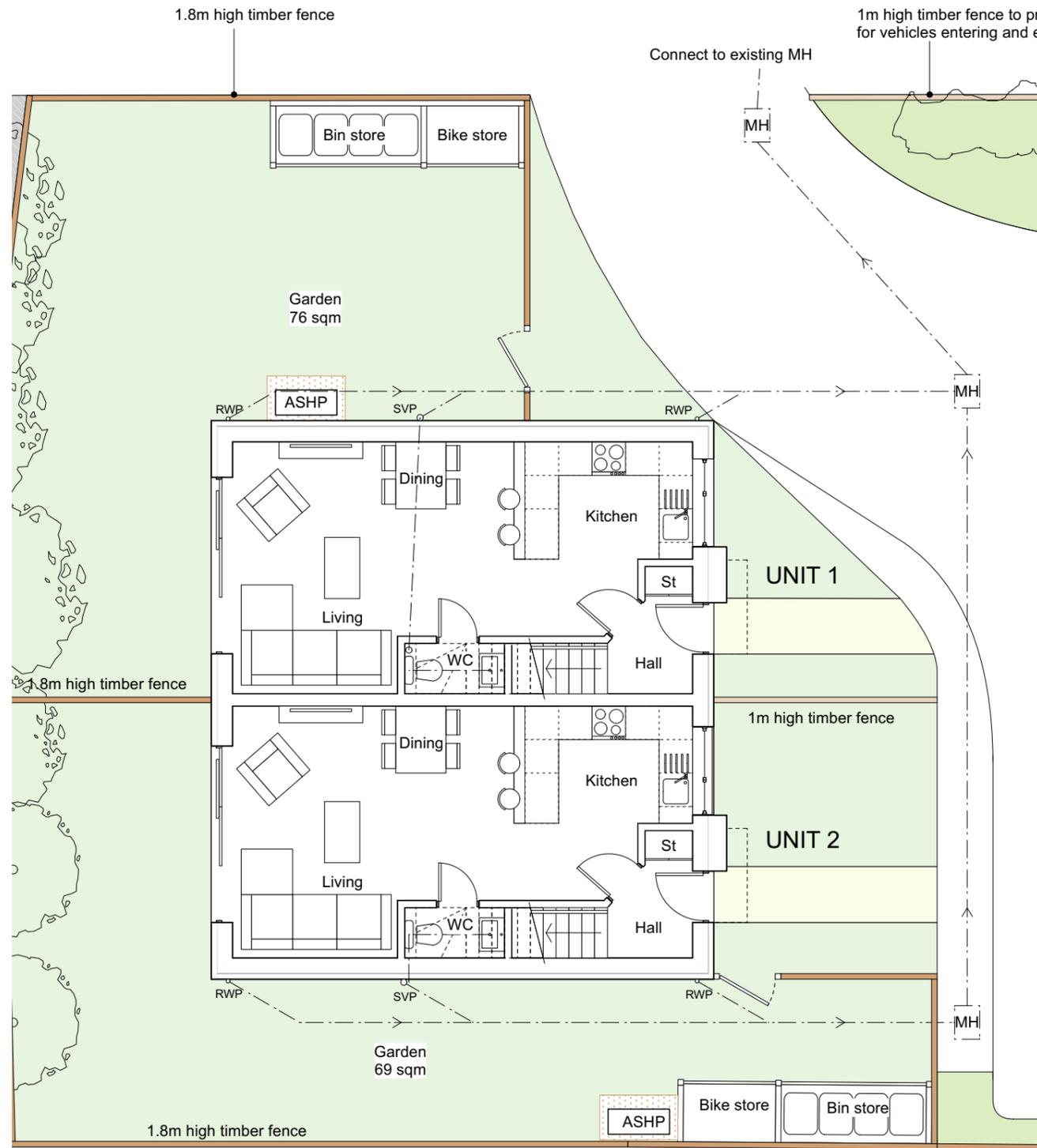
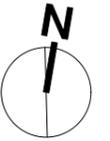
South Elevation



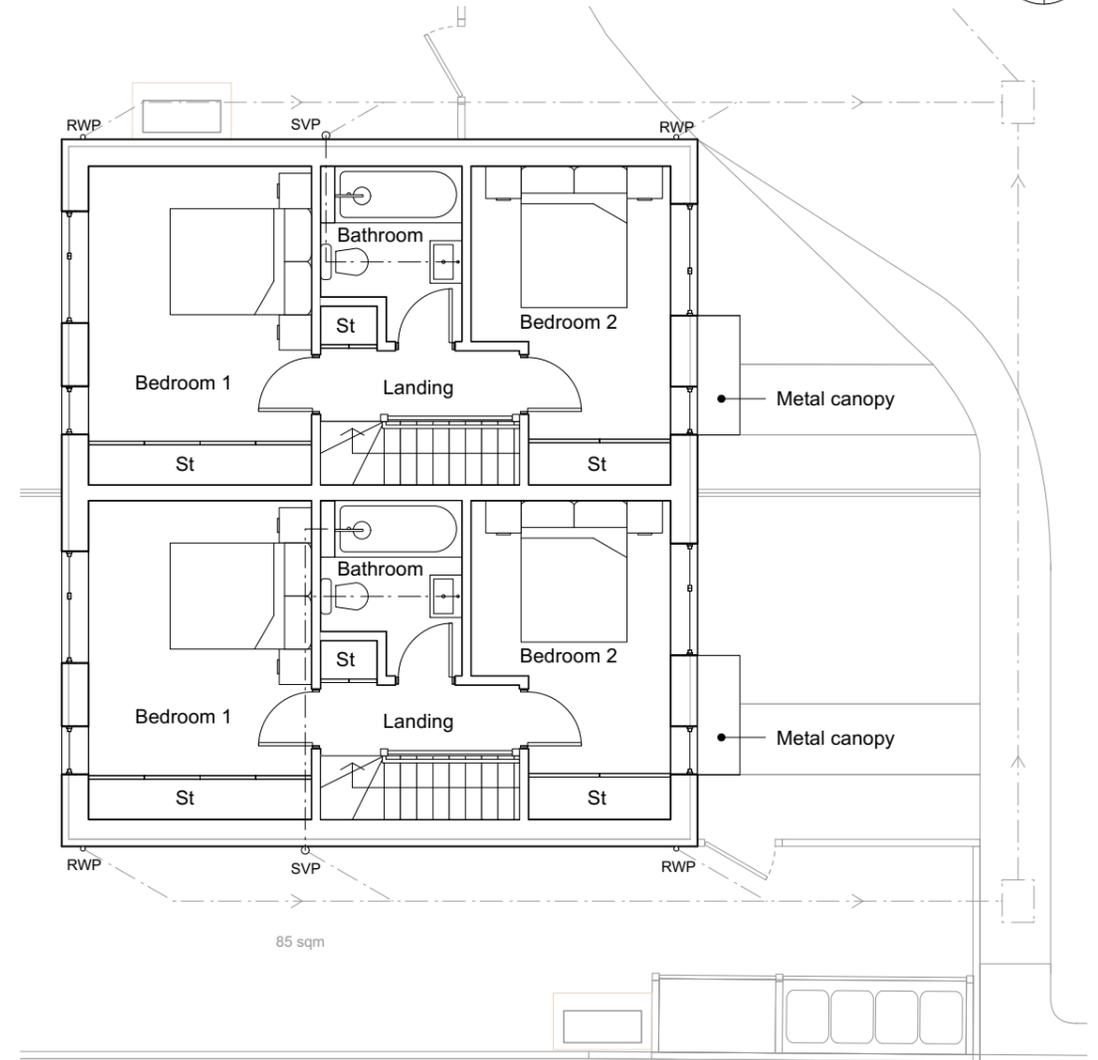
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PROJECT 203-205 Middlewich Street, Crewe, CW1 4DN			
CLIENT Nick Reynolds			
DWG. NO. 207_PL007	Proposed Side Elevations	REVISION -	DRAWN BY JH
DATE May 2023	ISSUE Planning Issue	SCALE 1:100@A2	

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 Contractor to check all dimensions and levels on site prior to commencement and inform architect in writing of any inaccuracies to drawings. All contractors are to be responsible for taking and checking all dimensions relative to their work. All noted dimensions are in millimetres unless stated otherwise. To be read in conjunction with all other consultants' drawings, specifications and schedules. In the event of uncertainty, please consult the Architect.



Ground Floor



First Floor

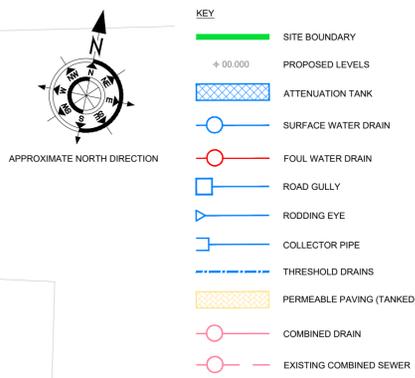
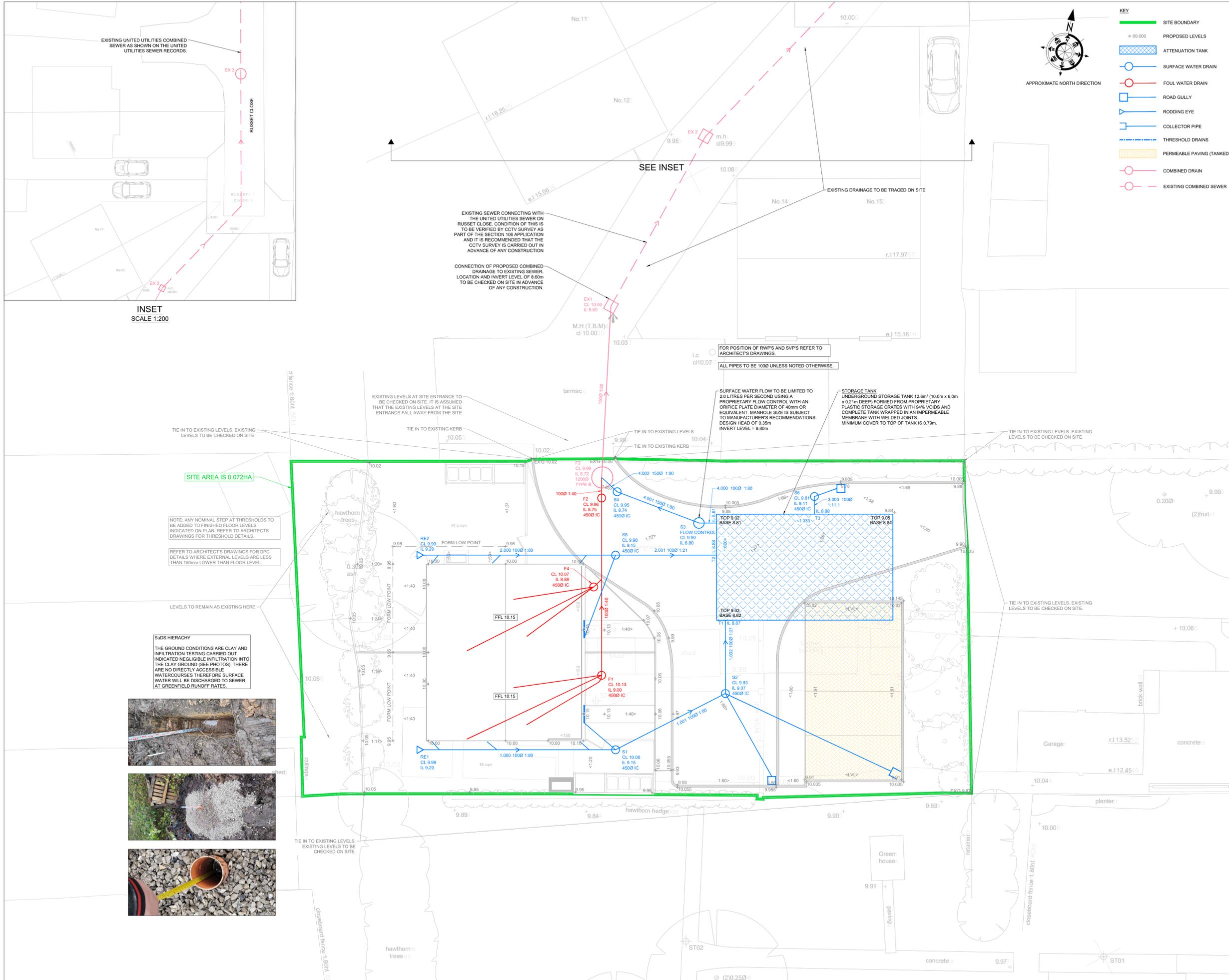
REV A (23.11.2023) Fence line adjusted to increase garden amenity space of Unit 2. (JD)

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PROJECT 203-205 Middlewich Street, Crewe, CW1 4DN			
CLIENT Nick Reynolds			
DWG. NO. 207_PL005	Proposed Floor Plans		REVISION A
DATE May 2023	ISSUE Planning Issue	DRAWN BY JH	
		SCALE 1:100@A3	

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- ### NOTES
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- Do not scale
- PRIVATE DRAINAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING REGULATIONS PART H AND DRAINAGE PRODUCT MANUFACTURERS' INSTRUCTION.
  - COVER LEVELS OF MANHOLES WHERE SHOWN ARE APPROXIMATE AND ARE INTENDED FOR GUIDANCE ONLY.
  - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ARCHITECTS' AND ENGINEERS' DRAWINGS.
  - REFER TO ARCHITECTS DRAWINGS FOR RAINWATER PIPE LOCATIONS AND INTERNAL DRAINAGE DETAILS PLUS POSITIONS OF OUTLETS.
  - ALL CONNECTIONS TO ADAPTABLE SEWERS SHALL BE MANUFACTURED JUNCTION PIPES. SADDLE CONNECTIONS WILL NOT BE PERMITTED, UNLESS SPECIFIED OR ACCEPTED BY THE WATER COMPANY.
  - POSITIONS AND LEVELS OF ALL EXISTING DRAINS AND SEWERS ARE TO BE CONFIRMED ON SITE BY THE CONTRACTOR IN ADVANCE OF ANY CONSTRUCTION, INCLUDING THOSE PIPELINES WHICH ENTAIL ADVANCE TRIAL FITTING TO CONFIRM DETAILS. ANY VARIATION FOUND TO THE INFORMATION ON THIS DRAWING IS TO BE REPORTED TO THIS OFFICE FOR FURTHER INSTRUCTION.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE WATER COMPANY OF THE COMMENCEMENT OF ANY DRAINAGE WORKS AND TO COMPLETE ANY REQUIRED SEWER CONNECTION FORMS, INCLUSIVE OF PAYING ANY REQUIRED FEES. THE CONTRACTOR MUST ALLOW FOR THE SUPERVISION OF ALL SEWER CONSTRUCTION WORKS BY THE WATER COMPANY AND NOTIFY THE SUPERVISING OFFICER, WRITING NOTICE WHICH SHALL BE IN ACCORDANCE WITH THE COMPANY'S REQUIREMENTS.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO APPLY FOR ANY REQUIRED ROAD OPENING PERMITS WITH THE HIGHWAY AUTHORITY, INCLUDING THE PAYMENT OF ALL FEES.
  - BEFORE COMMENCING ANY WORKS ON SITE, THE CONTRACTOR MUST CONTACT THE RELEVANT UTILITY COMPANY AND BE IN POSSESSION OF THE LATEST AVAILABLE DRAWINGS DETAILING THEIR SERVICES/APPARATUS. THE CONTRACTOR MUST CONFIRM THE EXACT LOCATION AND DEPTH OF ALL SERVICES/APPARATUS BY UTILISING ELECTRO-LOCATION OR SIMILAR DEVICES, AND WHERE NECESSARY BY HAND DUG TRIAL HOLES. IN ACCORDANCE WITH THE AFFECTED UTILITY COMPANY'S SAFETY PROCEDURES, MECHANICAL EXCAVATORS, POWER TOOLS ETC. MUST NOT BE USED TO LOCATE EXISTING SERVICES/APPARATUS.
  - PIPES, PRIVATE DRAINAGE ALL PIPES TO BE SUPERSTRENGTH CLAYWARE TO BS EN 205:1991 PART 1 UNLESS OTHERWISE NOTED. 100mm DIA SUPERSLEEVE OR SIMILAR APPROVED. 150mm DIA SUPERSLEEVE OR SIMILAR APPROVED AND FOR ALL CONNECTIONS TO SEWERS/MANHOLES AND WHERE NOTED.
  - ALL PART-CONSTRUCTED, UNCOVERED AND SHALLOW DRAINS AND SEWERS ARE TO BE PROTECTED FROM LOADING DURING THE CONSTRUCTION PERIOD AS PART OF THE CONTRACTOR'S TEMPORARY WORKS REQUIREMENTS.
  - CHAMBERS - PRIVATE DRAINAGE - 475mm DIAMETER POLYPROPYLENE INSPECTION CHAMBER (PPIC) WHERE DEPTH TO INVERT IS A MAXIMUM OF 1200mm. 475mm DIAMETER HEPWORTH REDUCED ACCESS TELESCOPIC PPIC WHERE DEPTH TO INVERT IS A MAXIMUM OF 3000mm. 475mm DIAMETER HEPWORTH REDUCED ACCESS SEWER SYSTEM WHERE DEPTH TO INVERT IS A MAXIMUM OF 5000mm. WHERE CHAMBERS ARE IN DRIVEWAYS/TRAFFICKED AREAS COVERS MUST BE GRADE D400
  - WHERE A PIPE TRENCH IS WITHIN 1m OF A BUILDING'S FOUNDATION THE PIPELINE IS TO BE PROVIDED WITH CONCRETE PROTECTION AND THE TRENCH PART-BACKFILLED WITH CONCRETE UP TO A LEVEL BELOW THE FLOOR OF THE BUILDING EQUAL TO THE DISTANCE FROM THE FOUNDATION LESS 150mm.
  - SPECIAL CARE IS REQUIRED WHEN WORKING IN THE VICINITY OF EXISTING TREES, HEDGES AND OTHER VEGETATION TO BE RETAINED AND PROTECTED. IT IS NOT INTENDED THAT ANY TREE ROOTS ARE TO BE SEVERED OR DAMAGED. SPECIALIST ADVICE MUST BE SOUGHT WHEN MAJOR ROOTS ARE ENCOUNTERED. CARE IS TO BE TAKEN TO AVOID DAMAGE TO BRANCHES AND FOLIAGE. REFER TO THE ARBORICULTURAL REPORT FOR FURTHER DETAILS AND INSTRUCTION.
  - ALL NEW DRAINAGE CONSTRUCTED IN THE VICINITY OF NEW EXISTING TREES, HEDGES AND OTHER VEGETATION IS TO BE PROTECTED FROM ROOT ACTIVITY USING ROOT CONTROL, ROOT BARRIER BY GREEN-TECH. BARRIER INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS' INSTRUCTIONS.
  - ALL NEW SEWERS AND DRAINS ARE TO BE JET-CLEANED AND CONDITION-SURVEYED BY CCTV ON COMPLETION OF THE WORKS. CCTV INSPECTIONS AND REPORTING SHALL COMPLY WITH THE MODEL CONTRACT DOCUMENT FOR SEWER CONDITION INSPECTION PUBLISHED BY THE FOUNDATION FOR WATER RESEARCH, CLEANING AND CCTV SURVEY REQUIREMENTS. APPLY ALSO TO EXISTING SEWERS BEING RETAINED.
  - INTERNAL DRAINAGE WITH NO WC CONNECTED SHALL BE LAID NO FLATTER THAN 1:40. DRAINS SERVING WCs SHALL BE LAID PREFERABLY AT 1:40 BUT NO FLATTER THAN 1:80.

**INSET**  
SCALE 1:200

SITE AREA IS 0.072HA

NOTE: ANY NOMINAL STEP AT THRESHOLDS TO BE ADDED TO FINISHED FLOOR LEVELS INDICATED ON PLAN. REFER TO ARCHITECTS DRAWINGS FOR THRESHOLD DETAILS.

REFER TO ARCHITECTS DRAWINGS FOR DPC DETAILS WHERE EXTERNAL LEVELS ARE LESS THAN 150mm LOWER THAN FLOOR LEVEL.

LEVELS TO REMAIN AS EXISTING HERE

**SUDS HIERARCHY**

THE GROUND CONDITIONS ARE CLAY AND INFILTRATION TESTING CARRIED OUT INDICATED NEGLIGIBLE INFILTRATION INTO THE CLAY GROUND (SEE PHOTOS). THERE ARE NO DIRECTLY ACCESSIBLE WATERCOURSES THEREFORE SURFACE WATER WILL BE DISCHARGED TO SEWER AT GREENFIELD RUNOFF RATES.



REV	DATE	AMENDMENT	BY
B	16/04/24	SURFACE WATER OUTFLOW AMENDED TO 2.0L/S. STORAGE TANK REVISED.	CMJ
A	26/04/24	NOTE AND PHOTOS ADDED. STORAGE TANK NOTE UPDATED.	SSD

STATUS: **PRELIMINARY**

31 Greenlands Business Centre  
Studdley Road  
Redditch, B98 7HD  
Tel: (01527) 903938  
Email: mail@csge.co.uk

CLIENT: **MR N. REYNOLDS**

PROJECT: **MIDDLEWICH STREET CREWE**

TITLE: **DRAINAGE LAYOUT**

DATE	DRAWN	SIZE	CHECKED	APPROVED
JANUARY 2024	SSD	A1	KW	KW

DRAWING NUMBER: **1895-002** REVISION: **B**

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Application No: 23/2528N

Location: Yew Tree Farm, CLAY LANE, HASLINGTON, CW1 5SQ

Proposal: Construction of a new warehouse for B8 use, internal access alterations from the existing site, landscaping, and associated works

Applicant: Amic Haulage Ltd

Expiry Date: 31-May-2024

**SUMMARY**

This is a retrospective application for full planning permission for the erection of a B8 (storage/distribution) use warehouse at Yew Tree Farm, Clay Lane, Haslington.

The principle of development in this Open Countryside location is acceptable as the proposal relates to the expansion and diversification of an existing business. The impact upon on the landscape and the visual amenity of the area is considered to be acceptable.

The proposal must also be assessed according to its impacts on residential amenity, pollution and land contamination, flood risk/drainage, ecological and arboriculture considerations. There is no objection to these technical issues and as such the application is recommended for approval.

**RECOMMENDATION**

**APPROVE subject to conditions**

**REFERRAL**

This application is referred to Southern Planning Committee at the request of Cllr Edgar for the following reasons:

*The plans refer to a 'proposed temporary' building however the supporting information refers to an expansion of the established business on the site.*

The proposes building is 1500 sqm in floor area and yet it is not clear from the supporting information what it will be used for, B8, covers a lot of options and what the implications are for *not* only the business in terms of additional employment and traffic growth but impact on the immediate area, particularly the size and frequency of vehicles on the rural roads.

*More information is required and whilst this application will support a local business it is*

*important to understand what the wider implications of any expansion of the haulage operation on this site will have on the surrounding area.*

*As it stands a planning statement is lacking with regard to this information. At the very least this site needs a committee site visit to look at the intrusion onto the open countryside, highway implications, the established premises and permissions already granted.*

## **PROPOSAL**

This is an application for full planning permission for a warehouse which would measure 50m by 30m, with an eaves height of 6.3m, and a ridge height of 11.2m. The warehouse would be sited at the northeast of the wider Yew Tree Farm site. The warehouse would provide some 1500m<sup>2</sup> of storage space.

The rationale of the proposal is to provide required expanded secured storage space for the growth of the haulage business, and to minimise the need to store materials/goods externally. The proposal would also allow the business the flexibility to diversify in the future if required.

## **SITE DESCRIPTION**

The application relates to a site known as Yew Tree Farm which is located within the Open Countryside as defined by the Local Plan Policies Map. The site comprises a number of buildings, including buildings of traditional construction and portal framed buildings of varying ages. The site was formally part of farm but now is used occupied by a haulage company as a B8 (storage and distribution) business since June 2003.

## **RELEVANT HISTORY**

23/4825N Retrospective change of use from agricultural storage to creation of additional hardstanding for the storage of private vehicles - *Pending Consideration*

21/1730D Discharge of Conditions 6,7 & 8 on 20/4957N - Construction of single storey warehouse/storage unit and canopy extension to existing warehouse *Approved 22DEC/2021*

20/4957N Construction of single storey warehouse/storage unit and canopy extension to existing warehouse. *Approved with conditions 01/FEB/2021*

19/4143N Formation and change of use of hardstanding from agricultural to B8 use, change of use of former grain store to B8 use, formation of new access point from Clay Lane, and associated works *Approved with conditions 17/JUN/2020*

17/0607N – The construction of an extension to an existing agricultural building to house a tractor and for general store use. – *Refused 16th March 2017*

16/3499N - Certificate of lawful development for an existing use as haulage yard and agricultural use *Negative Certificate 16/MAR/1017*

14/4875N - Proposed detached storage unit for grain *Approved 26/JAN/2015.*

12/4229N - Prior notification for extension of hard standing for storage of bales, cattle feed and bedding - *approval not required - 11/12/12.*

12/3073N - Prior Notification of Agricultural Development - Regrade Boggy Agricultural Land for Relaying Land Drains - *approval not required - 08/10/12.*

7/03062 - Extension to existing repair garage - *approved - 03/08/77*

## **POLICIES**

### **National Planning Policy Framework (NPPF)**

The National Planning Policy Framework establishes a presumption in favour of sustainable development.

### **Cheshire East Local Plan Strategy (CELPS)**

SD 1 Sustainable Development in Cheshire East

SD 2 Sustainable Development Principles

SE 1 Design

SE 2 Efficient Use of Land

SE 3 Biodiversity and Geodiversity

SE 4 The Landscape

SE 5 Trees, Hedgerows and Woodland

SE 9 Energy Efficient Development

SE 12 Pollution, Land Contamination and Stability

SE 13 Flood Risk and Water Management

CO 1 Sustainable Travel and Transport

IN 1 Infrastructure

PG 6 Open Countryside

EG 1 Economic Prosperity

EG 2 Rural Economy

EG 3 Existing and Allocated Employment Sites

### **Cheshire East Site Allocations and Development Policies Document (SADPD)**

GEN 1 Design Principles

HOU 12 Amenity

INF1 Cycleways, Bridleways and Footpaths

INF 3 Highway Safety and Access

INF 9 Utilities

ENV 2 Ecological Implementation

ENV 3 Landscape Character

ENV 5 Landscaping  
ENV 6 Trees, Hedgerows and Woodland Implementation  
ENV 7 Climate Change  
ENV16 Surface Water Management and Flood Risk  
PG 8 Development at Local Service Centres  
PG 9 Settlement Boundaries  
RUR 10 Employment Development in the Countryside

### **Haslington Neighbourhood Plan**

Regulation 7 stage (no weight)

### **CONSULTATIONS (External to Planning)**

**Haslington Parish Council:** Object to the application on the following grounds:

- The proposed development is within the open countryside and should be protected for its own sake. The proposal does not fall within the policy exceptions and conflicts with policies PG6 and EG2 of the CELPS and NE13 of the C&NLP.
- The applicant has placed hardcore on the site, and this was refused permission as part of 21/1300N.
- Encroachment into the open countryside has taken place without any planning permission.
- Large vehicles are parked on the areas of hardstanding and no planning permission has been granted for this.
- The site plan does not reflect the unauthorised development which has taken place at this site.
- The appearance of the building is not in keeping with this rural location. The building is bright white and is visible from Clay Lane.
- The applicant states that the site benefits from visual screening (hedgerows and trees). However, the PC are of the view that this does not adequately screen the site.
- The application does not state what materials will be stored within the building. If outdoor storage is moved to being within the building, what will happen with the redundant external storage areas. The application will just make the site larger.
- Loss of agricultural land (grade 1-3) which has a value to the local farming community. The site is not within a sustainable location.
- The site was previously undeveloped.
- There would be conflict with policies SD1, SE2 and PG6.
- The application is retrospective and should be refused.

**United Utilities:** No objection

**Environmental Protection:** No objection subject to standard contaminated land condition.

**Lead Local Flood Authority (LLFA):** No objection subject to conditions

**CEC Highways:** No objection

## **REPRESENTATIONS**

No further representations received.

## **APPRAISAL**

### **Principle of Development**

The application site is situated in the Open Countryside, outside of any settlement boundary.

The applicant Amic Haulage Ltd has operated a haulage business on this site since June 2023. The application advises that Amic Haulage is part of the local supply chain and is used by Mornflake for its haulage and ancillary storage and distribution.

Policy PG6 of the CELPS states that within the Open Countryside only development that is essential for the purposes of agriculture, forestry, outdoor recreation, public infrastructure, essential works undertaken by public service authorities or statutory undertakers, or for other uses appropriate to a rural area will be permitted. Policy PG6 then goes on to identify a number of exceptions including for development that is essential for the expansion of an existing business (point v).

Policy EG2 of the CELPS then goes onto identify that encourage the retention and expansion of an existing business (particularly through the conversion of existing buildings and farm diversification) will be supported where they meet a number of requirements.

Policy RUR10 of the SADPD states that under CELPS Policy PG 6 'Open countryside', development that is essential for uses appropriate to a rural area will be permitted in the open countryside. Employment development may be appropriate to a rural area where:

- i. its scale is appropriate to the location and setting.
- ii. the nature of the business means that a countryside location is essential; and
- iii. the proposals provide local employment opportunities that support the vitality of rural settlements.

In terms of the scale of the building, the proposed use involves the storage of materials transported by haulage trucks which necessarily involve a fairly large quantum of floorspace and in the context of the overall site is not disproportionate in footprint.

In terms of criteria 1ii and 1iii of this policy the use of the business is established, with an existing haulage firm operating from the site with some 14 full time employees. This proposal would enhance an existing employment site with access to the A534 trunk road outside of, but in fairly close proximity to, the settlement of Crewe. These aspects would further support the expansion of this existing business in this location.

Criterion 2 of policy RUR10 of the SADPD states that where it is demonstrated that the proposal is appropriate to a rural area under Criterion 1, employment development will be supported where it accords with other policies in the development plan and:

- i. the proposals make the best use of existing infrastructure such as existing buildings, utilities, parking and vehicular access;
- ii. additional buildings, structures and ancillary development are restricted to the minimum level reasonably required for the existing or planned operation of the business; are well-related to each other and existing buildings and do not form isolated or scattered development;
- iii. the proposal does not unacceptably affect the amenity and character of the surrounding area or landscape (including visual impacts, noise, odour, design and appearance) either on its own or cumulatively with other developments; and
- iv. appropriate landscaping and screening is provided

The proposals would make use of the existing access and would be built to the north and east and behind existing development on this B8 use site, the proposed building, although large in scale, is not disproportionate for the stated purpose and relates clearly to the existing and planned operation of the business and would be well related visually to the surrounding development. Finally, the proposal would have no adverse amenity of character impacts as elaborated on further in the report.

In terms of criterion 2iii as identified by the Local Planning Authority's landscape architect the existing large sheds screen views into the site from the southern roadside areas, however upon travelling north along Clay Lane, beyond the site, occasional over hedge views and through gate hedge openings do occur towards the farm. Due to the location of the site, the building in question is visible in various ways as highlighted below. However, views become more screened north of Haslington FP 40 junction with Clay Lane. It must be noted that occasional views are possible from Haslington FP 40 and FP 25.

The proposed application is mostly visible from near and mid-range views from the west, north and east of the site occasionally, with topography, mature trees and hedgerows intervening/screening, filtering in places. The nearer landscape also has occasional intervening mature hedgerows and trees which do break up views directly to all of the proposal. Views into the proposed site are further framed and set by both the existing haulage buildings and a large-scale pylon high voltage line and a smaller overhead line. The proposal although set within open countryside is nevertheless adjacent to a harder and more industrial elements.

The proposed (built out) building is white in colour, a rather foreign colour for a large shed/barn within or nearby to this location. Large sheds/barns close to the site located on other farms typically have a darker finish (dark green). These local buildings being dark green sit more comfortably into the green landscape. The proposal in its current colour state stands out due to its colour quite prominently in places. Therefore, a condition requiring submission of details of painting/colour scheme at the walls should be appended to assure compliance with this policy criterion.

Criterion 3 of this policy states that the design of any new building for employment purposes in the open countryside must be appropriate to its intended function and must not be designed to be easily converted to residential use in the future. It is considered that the proposal clearly accords with this requirement subject to the condition as identified above.

As noted above policy EG2 of the CELPS states that outside the Principal Towns, Key Service Centres and Local Service Centres, developments that encourage the retention and expansion of existing businesses, particularly through the conversion of existing buildings and farm diversification (case officer's emphasis) will be supported where the proposal:

- i. Meets sustainable development objectives as set out in policies MP 1, SD 1 and SD 2 of the Local Plan Strategy;
- ii. Supports the rural economy, and could not reasonably be expected to locate within a designated centre by reason of their products sold;
- iii. Would not undermine the delivery of strategic employment allocations;
- iv. Is supported by adequate infrastructure;
- v. Is consistent in scale with its location and does not adversely affect nearby buildings and the surrounding area or detract from residential amenity;
- vi. Is well sited and designed in order to conserve and where possible enhance the character and quality of the landscape and built form; and vii. Does not conflict with Policies PG 3, PG 4, PG 6, PG 7, SE 3, SE 4, SE 5, SE 6 and SE 7 of the Local Plan Strategy.

Subject to an assessment of visual and residential amenity below it is considered that this policy requirement would be broadly complied with in terms of this proposal for a single industrial unit on an existing B8 use site.

Finally, the application makes reference for the building being required for a temporary period of 10 years. This is not considered to be temporary, and it is in essence a permanent structure (the application should be treated on this basis).

### **Residential Amenity**

Policy HOU12 on amenity states that development proposals must not cause unacceptable harm to the amenities of adjoining or nearby occupiers of residential properties, sensitive uses, or future occupiers of the proposed development.

There is a dwellinghouse within the wider site to the southwest but this would be sited well away from the warehouse and no closer than existing B8 uses. As such it is not considered that there would be an unacceptable interface here. There is no further residential development in close proximity and the site is isolated, precluding any material residential amenity impacts.

The development complies with SADPD Policy HOU12.

## **Land Levels**

Land levels details have been provided as part of this application in the form of elevations with levels from sea level and a topographical survey, and as the application proposal has been built out this matter does not need to be controlled via the imposition of a planning condition.

## **Contaminated Land**

A standard condition is recommended by Environmental Protection and this will be attached to the decision notice.

## **Highways Issues**

The construction of a new building, of some 1500m<sup>2</sup>, is proposed to be used as B8 storage and distribution.

This site has an existing commercial site, and it is indicated that there will be no additional traffic generation arising from the building. There are no changes proposed to the existing access to the site and sufficient parking is available within the site.

There are no objections to the application from the highways officer and the proposal is considered to clearly comply with policy INF3 of the SADPD and policy CO1 of the CELPS

## **Trees & Hedgerows**

No trees would be impacted by the development. The proposed site plan includes a proposed hedgerow which will be controlled for by condition.

## **Design and Impact on Visual Amenity, the Landscape**

Cheshire East Local Plan Strategy Policy SD2 states that all development will be expected to contribute positively an area's character and identity, creating or reinforcing local distinctiveness in terms of;

- Height, scale, form and grouping
- Choice of materials
- External design features
- Massing of the development (the balance between built form and green/public spaces)
- Green infrastructure; and
- Relationship to neighbouring properties, street scene and the wider neighbourhood

Policy SE1 of the CELPS advises that the proposal should achieve a high standard of design and, wherever possible, enhance the built environment. It should also respect the pattern, character and form of the surroundings. Policy GEN1 (Design Principles) sets a number of design principles that development proposals should meet. This includes the following; 1. create high quality, beautiful and sustainable buildings and places, avoiding

the imposition of standardised and/or generic design solutions where they do not establish and/or maintain a strong sense of quality and place; 2. create a sense of identity and legibility by using landmarks and incorporating key views into, within and out of new development; 3. reflect the local character and design preferences set out in the Cheshire East Borough Design Guide supplementary planning document unless otherwise justified by appropriate innovative design or change that fits in with the overall form and layout of their surroundings.

Policy SE4 builds on these matters by requiring an acceptable visual impact on the landscape.

As identified above the Landscape Officer has requested a change in colour of the entire external finished to the building proposed to a darker green tone similar to other large sheds onsite which is considered reasonable and necessary to condition.

Given that the existing cluster of buildings on site it is not considered that the proposed additional building as proposed in this application would appear sufficiently incongruous to incur a reason for refusal on these grounds.

Subject to this condition the proposed development would therefore comply with policies SE1, SE4, SD1 & SD2 of the CELPS and Policy GEN1 of the SADPD.

### **Ecology**

Policy SE 3(5) of the CELPS requires all developments to aim to positively contribute to the conservation of biodiversity. The Council's ecologist has reviewed the proposal and in light of the proposed hedgerow on the proposed site plan has no objection to the proposal.

### **Flood Risk/Drainage**

Policy SE13 of the CELPS states, inter alia, that developments must integrate measures for sustainable water management to reduce flood risk, avoid an adverse impact on water quality and quantity within the borough and provide opportunities to enhance biodiversity, health and recreation, in line with national guidance.

The application site is located within Flood Zone 1 (low probability of river/tidal flooding) according to the Environment Agency Flood Maps. The applicant has submitted a drainage strategy which has been assessed by the LLFA. Conditions will be attached requiring further detail within three months of the date of permission to ensure an acceptable impact on water management on the site.

United Utilities have recommended informatives related to drainage which are considered necessary and reasonable to append to the Decision Notice in the event of a grant of planning permission.

## **PLANNING BALANCE**

The wider site is an established B8 storage/distribution use, and the proposed building would fit into that use class. The site is within the Open Countryside where development that is essential for the expansion of an existing business is acceptable in principle subject to material considerations.

The highways impact is considered to be acceptable, and no objection has been raised by the Councils Highways Officer. The parking provision and access to serve the development complies with INF3 of the SADPD and CO2 of the CELPS.

The design would be acceptable (subject to a condition relating to the colour of the building) and the landscape officer is of the view that the proposed development would not harm the character and appearance of the open countryside.

Due to the location of the site there would be no harm to residential amenity, trees or ecology.

The matters of flood risk and drainage would be controlled with the imposition of planning conditions.

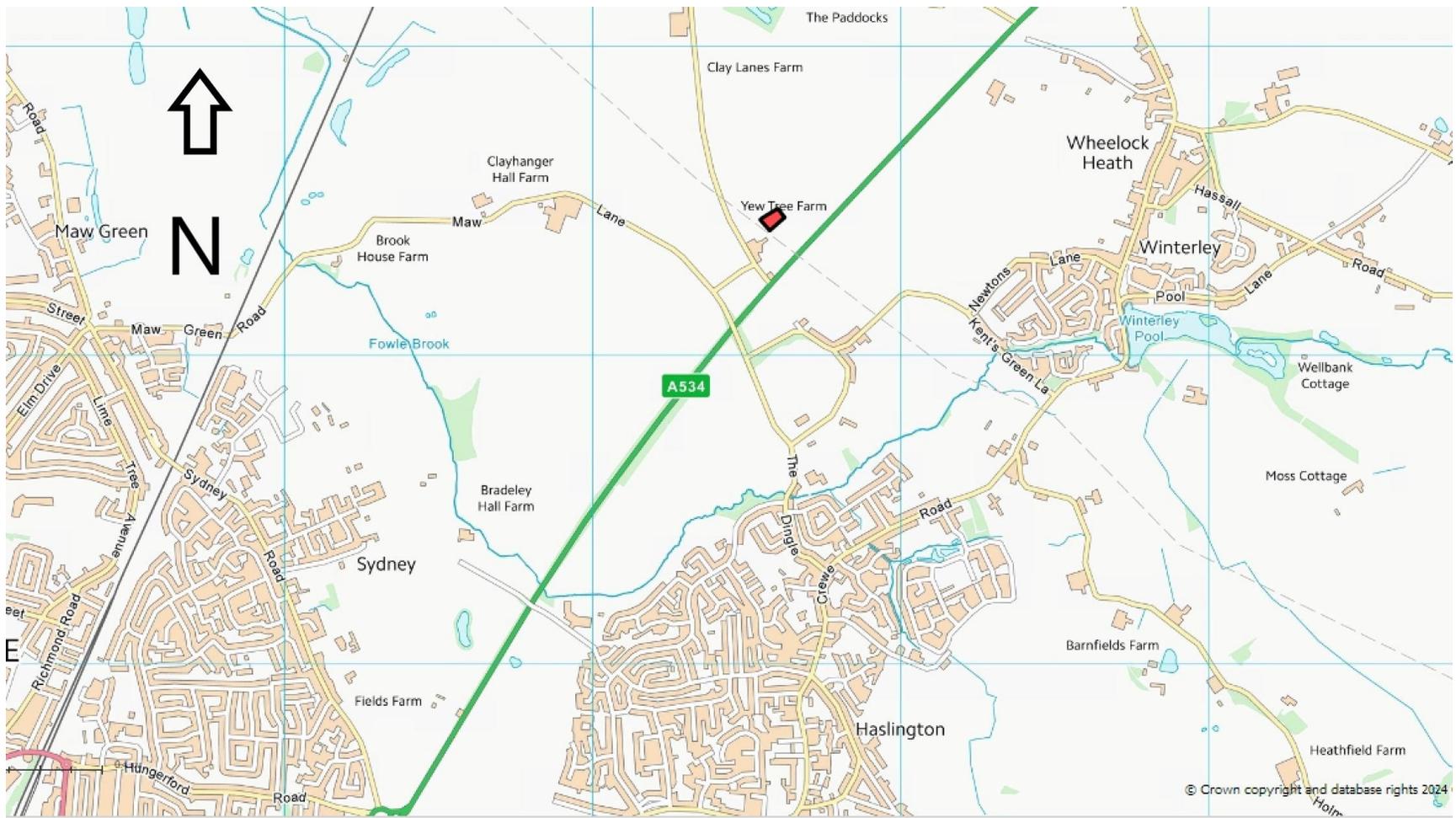
The proposed development would comply with the Development Plan when it is read as a whole.

## **RECOMMENDATION**

**APPROVE** subject to the following conditions:

- 1. Approved Plans**
- 2. Materials as Application**
- 3. Submission of Details of Colour of Facing Materials (within 3 months of date of permission). To be implemented within 5 months of the date of decision.**
- 4. Submission of Updated Drainage Strategy (within 3 months of date of permission)**
- 5. Submission of Details of Petrol/Oil Separators in Drainage Strategy (within 3 months of date of permission)**
- 6. Within 3 months of the date of this decision, any soil or soil forming materials brought to site for use shall be submitted and approved.**

**In order to give proper effect to the Board's intent and without changing the substance of its decision, authority is delegated to the Planning and Enforcement Manager in consultation with the Chair of Southern Planning Committee (or in their absence the Vice Chair) to correct any technical slip or omission in the resolution, before issue of the decision notice.**

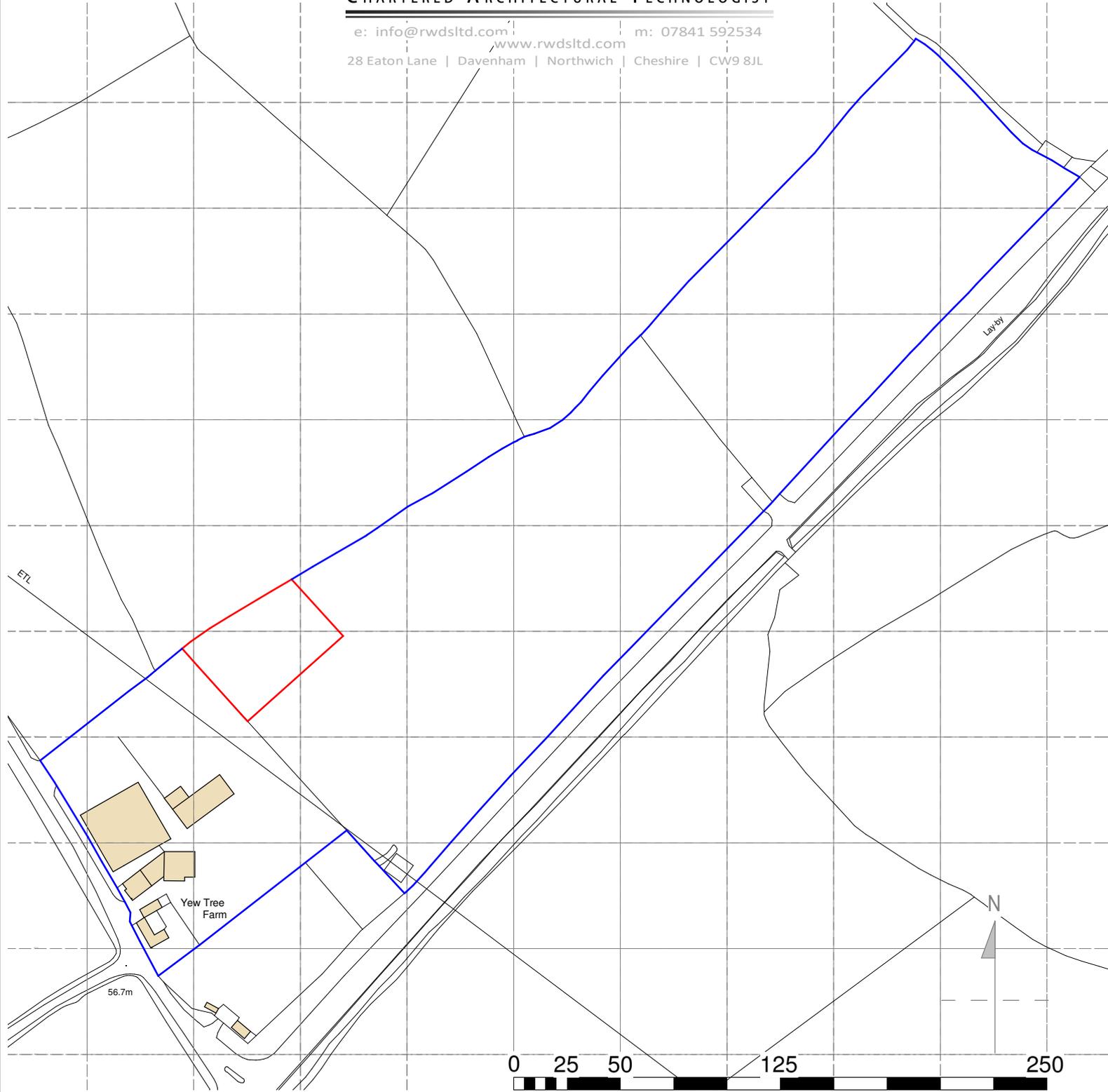


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23/2528N

Yew Tree Farm, Clay Lane,  
Haslington, CW1 5SQ

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 28 Eaton Lane | Davenham | Northwich | Cheshire | CW9 8JL



PROJECT INFORMATION:  
**Proposed New Warehouse**  
 Yew Tree Farm  
 Haslington  
 Cheshire

PROJECT REF:  
 23012  
 REFERENCING SHEET:  
 00-001

DRAWING TITLE:  
**Site Location Plan**

MODEL REF & VERSION:

CLIENT:  
**Amic Haulage Ltd.**

CLIENT REF:

STATUS CODE: PURPOSE OF ISSUE:  
**S0 Work in Progress**

Scale @A4  
 1 : 2500

Rev.	Description	Date	By	App. By
ORIGINAL BY:		INITIAL ISSUE:		APPROVED BY:
RW		12/04/20		RW

DRAWING NUMBER:							
PROJECT ID	ORIGINATOR	ZONE	LEVEL	TYPE	ROLE	NUMBER	REV.
23012	RWD	ZZ	XX	DR	A	00-001	
PLOT DATE: 20/05/2023 13:12:18							LAST ISSUE DATE

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Proposed Site Block Plan  
Scale 1 : 250



Rev.	Description	Date	By	App. By
B	Additional Finishing Added	16/06/2023	RW	RW
A	Drawing amended	15/06/2023	RW	RW

ORIGINAL BY RW	DATE ISSUED 06/15/23	APPROVED BY RW	PROJECT REF. 23012
PROJECT INFORMATION <b>Proposed New Temporary Building</b> Yew Tree Farm Haslington Cheshire			MODEL REF.

CLIENT:  
Haslington Haulage Ltd.

CLIENT REF:

DRAWING TITLE:  
Proposed Site Block Plan

REF REF: Proposed Site Block Plan

STATUS CODE: S0  
PURPOSE OF ISSUE: Work in Progress

REFERENCING SHEET: 00-004  
SCALE @ 1 : 250

**R WATSON DESIGN SERVICES LTD.**  
CHARTERED ARCHITECTURAL TECHNOLOGIST

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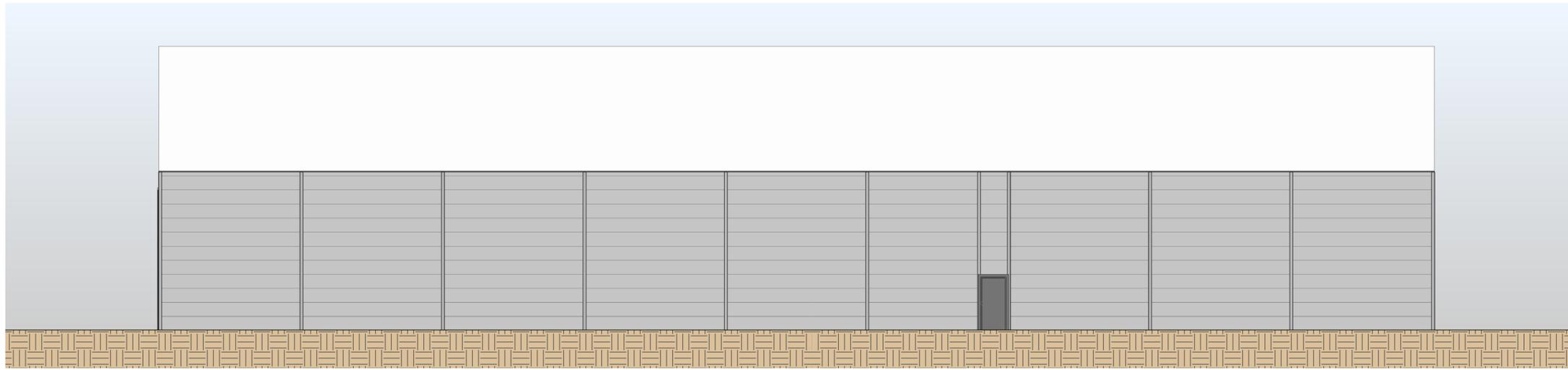
DRAWING NUMBER: 23012-RWD-ZZ-XX-DR-A-00-004	REV: B
NOT DATE: 16/06/2023 09:40:11	16/06/2023 14:47:05:04:11

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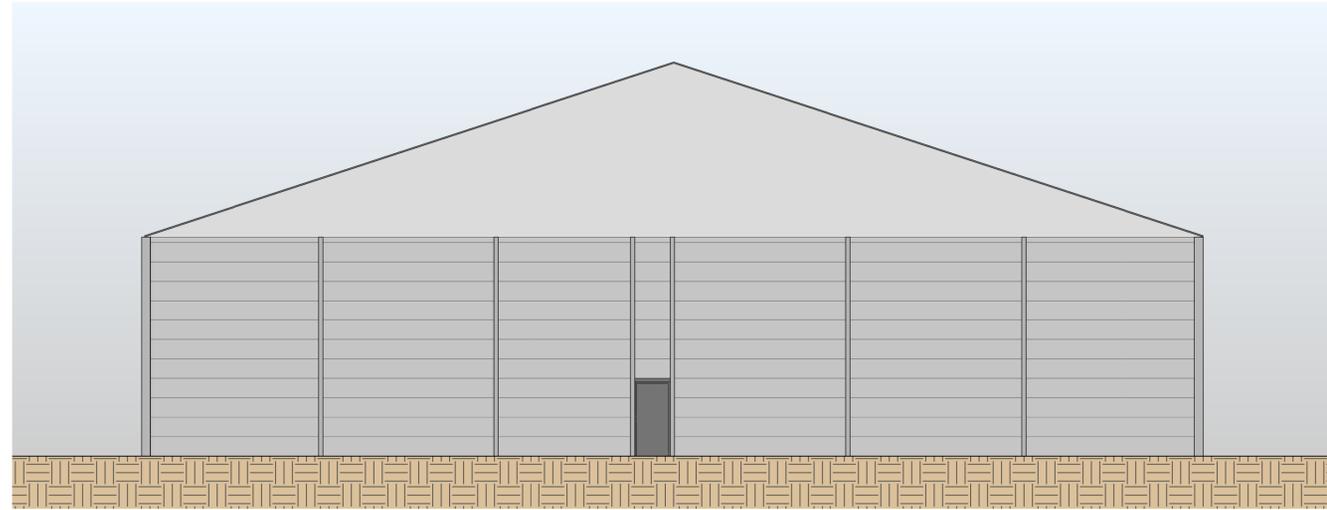
**Finishes**

Roof is flame retardant PVC material  
 Wall is 40mm PIR Sandwich cladding panel  
 Personnel doors are steel door painted  
 Rollershutter is galvanised Steel Rollershutter



South East Elevation

Scale: 1 : 100



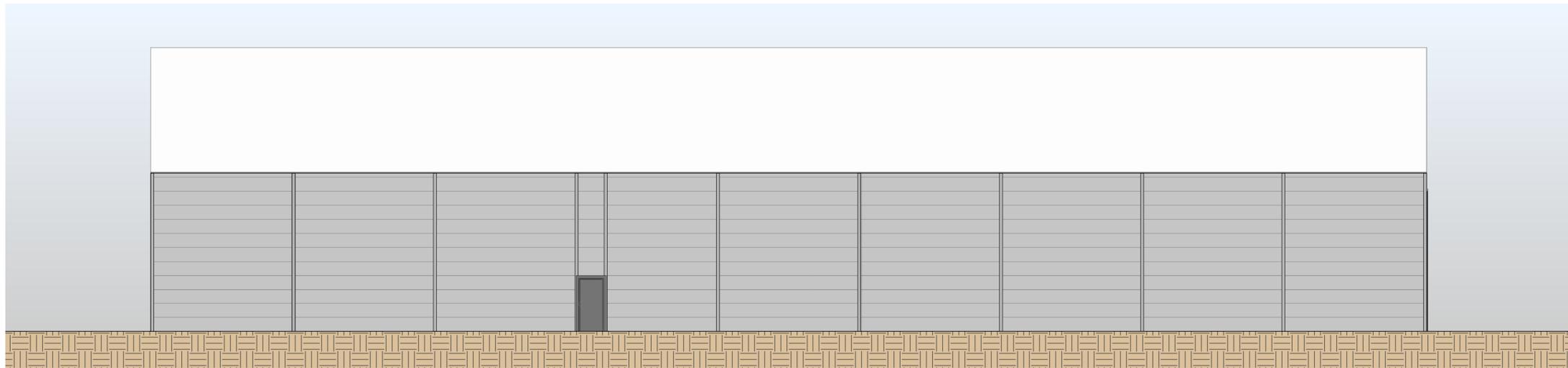
North East Elevation

Scale: 1 : 100



South West Elevation

Scale: 1 : 100



North West Elevation

Scale: 1 : 100



Rev.	Description	Date	By	App. By
RW		05/19/23		RW

PROJECT INFORMATION:  
**Proposed New Warehouse**  
 New Farm Farm  
 Haslington  
 Cheshire

PROJECT REF:  
 23012

MODEL REF:

CLIENT:  
 Amic Haulage Ltd.

CLIENT REF:

DRAWING TITLE:  
 Proposed Elevations

REF REF: Proposed Elevations

STATUS CODE: S0  
 PURPOSE OF ISSUE: Work in Progress

REFERENCE SHEET: 10-002  
 SCALE: 1 : 100

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DRAWING NUMBER:  
 PROJECT: 23012- RWD - ZZ - XX - DR - A - 10-002  
 SHEET NUMBER: 01  
 DATE: 14/06/2023 17:18:24  
 LAST ISSUE DATE: