

23/2129C

HOUSING DEVELOPMENT  
SITE

LINLEY ROAD

ALSAGER



**Notes**

1. Do not scale this drawing.
2. All dimensions must be checked on site and any discrepancies verified with the architect.
3. Unless shown otherwise, all dimensions are to structural surfaces.
4. Drawing to be read with all other issued information. Any discrepancies to be brought to the attention of the architect.
5. This drawing is the copyright of Levitt Bernstein and may not be copied, altered or reproduced in any form, or passed to a third party without license or written consent.
6. This document is prepared for the sole use of Plus Dane and no liability to any other persons is accepted by Levitt Bernstein. Levitt Bernstein accepts no liability for use of this drawing by parties other than the party for whom it was prepared or for purposes other than those for which it was prepared.

This is not a construction drawing, it is unsuitable for the purpose of construction and must not on account be used as such.

**Refer to landscape architect drawings:**  
 Landscape GA Plan - 200000  
 Landscape Planting Plan - 210000  
 Hardscape Plan - 200300

Rev	Date	Description	Drawn / Checked
P6	05.07.24	PLANNING UPDATES	JR
P5	14.03.24	PLANNING UPDATES	JR/JP
P4	25.05.23	PLANNING ISSUE	JR/GH
P3	29.03.23	PLANNING ISSUE	JR/GH
P2	22.03.23	Draft Planning Issue	JR
P1	10.03.23	Draft Planning Issue	JR

Project name  
**LINLEY ROAD PLUS DANE**

Drawing number  
**3845A - LB - LR - 00 - D - A - 110000**

Rev  
**P6**

Proposed Site Plan

Purpose of issue  
 FOR PLANNING

Scale  
 1 : 500 @ A1

Date  
 MAR 23

Client  
 Plus Dane

London  
 Thane Studios  
 2-4 Thane Villas  
 London N7 7PA  
 +44 (0)20 7275 7676

Manchester  
 Bonded Warehouse  
 18 Lower Byrom Street  
 Manchester M3 4AP  
 +44 (0)161 666 8740

Levitt Bernstein  
 levittbernstein.co.uk

**Dwelling Type Schedule**

House Types Schedule - Proposed Site Plan		House Types Schedule - Proposed Site Plan		House Types Schedule - Proposed Site Plan	
Dwelling Sub-Type	Count	Dwelling Sub-Type	Count	Dwelling Sub-Type	Count
A1	3	Cardinham-D	3	Rockingham-A	3
A2	1	Cardinham-E	1	Rockingham-A.w	1
B1	2	Holt-A	5	Thetford-A	8
B2	2	Holt-A.w	1	Thetford-A.w	3
B3	1	Holt-B	2	Thetford-B	6
C1	1	Holt-C	5	Thetford-B.w	6
C2	1	Holt-C.w	4	<b>Grand total: 68</b>	
Cardinham-A	1	Holt-D	5		
Cardinham-B	2	House Type A - Signal House	1		

**Dwelling Sub-Types**

A1	Cardinham-D	Holt-C	Rockingham-A.w
B1	Cardinham-E	Holt-C.w	Thetford-A
B2	Holt-A	Holt-D	Thetford-A.w
Cardinham-A	Holt-A.w	House Type A - Signal House	Thetford-B
Cardinham-B	Holt-B	Rockingham-A	Thetford-B.w

**Dwelling Plot Number**  
 shown on drawing:  
 XX

**Landscape Features**

- Proposed trees
- Existing trees to be retained
- Existing trees RPA

**Highways Adoption**

- Extent of proposed highways adoption zone - where zone is planted

Public Open Space 6252m<sup>2</sup>



**Notes**

1. Do not scale this drawing.
2. All dimensions must be checked on site and any discrepancies verified with the architect.
3. Unless shown otherwise, all dimensions are to structural surfaces.
4. Drawing to be read with all other issued information. Any discrepancies to be brought to the attention of the architect.
5. This drawing is the copyright of Levitt Bernstein and may not be copied, altered or reproduced in any form, or passed to a third party without license or written consent.
6. This document is prepared for the sole use of PLUS DANE and no liability to any other persons is accepted by Levitt Bernstein. Levitt Bernstein accepts no liability for use of this drawing by parties other than the party for whom it was prepared or for purposes other than those for which it was prepared.

This is not a construction drawing, it is unsuitable for the purpose of construction and must on no account be used as such.

**NOTE**

Refer to Sutcliffe drawings for proposed highways work, proposed drainage and levels, further detail will be submitted as part of S278works application post planning

Refer to Rachel Hacking Ecology report for BNG calculation and ecological assessment

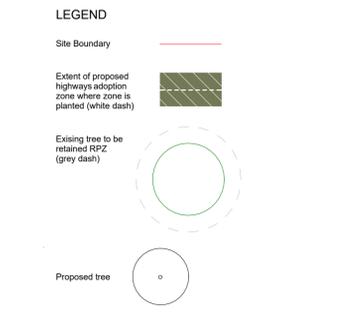
Refer to Jon Coe Tree AIA and tree constraint plan for existing trees to be removed or retained and the cellweb detail

External lighting design will be developed post planning

Ecological enhancement to be detailed with ecologist post planning.

Footpath to south side of mews street for future connection to Cardway site. (Pedestrian access)

1 | Landscape GA Plan  
1:500



**SOFTSCAPE LEGEND**

PL01 - Main Entrance Mix
PL02 - Street Mix
PL03 - Apartment Block Mix
PL04 - Northern buffer Mix
PL05 - Green Spine Mix
PL06 - Courtyard Parking Mix
PL07 - Wildflower meadow grassland
PL08 - Climber Mix
PL09 - Green Heart Mix
PL10 - Lawn
PL11 - Native hedgerow
PL12 - Scrub Mix

**HARDSCAPE LEGEND**

P01 - Bitmac Carriageway and Parking
P02 - Asphalt
P03 - Concrete Setts (in roads)
P04 - Concrete Setts Paving (front paths)
P05 - Rubber mulch play surface. Mixture of shredded and EPDM rubber crumb. Range of colours

Cellweb required in key locations to protect existing tree RPAs. Refer to drawings by Jon Coe Tree Consultancy

Please read in accordance with 3845A Plant schedule for detailed planting species for each mix.

Rev	Date	Description	Drawn / Checked
P7	05/07/24	PLANNING ISSUE	EK/KD
P6	27/06/24	Public Open Space Edits	EK/KD
P5	14/03/24	PLANNING UPDATES	EK/KD
P4	25/05/23	PLANNING ISSUE	EK/JR
P3	29/03/23	DRAFT PLANNING	EK/DL
P2	22/03/23	DRAFT PLANNING	EK/DL
P1	14/03/23	Coordination	EK/DL

Project name

**LINLEY ROAD PLUS DANE**

Drawing number: 3845A - LB - ZZ - XX - DP - L - 200000 Rev: P7

**Landscape GA Plan**

Purpose of issue: For Information Suitability code

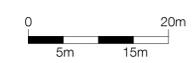
Scale: As indicated @ A1 First issue date: 29/03/23

Client: PLUS DANE

**London**  
Thane Studios  
2-4 Thane Villas  
London N7 7PA  
+44 (0)20 7275 7676

**Manchester**  
Bonded Warehouse  
18 Lower Byrom Street  
Manchester M3 4AP  
+44 (0)161 666 8740

Levitt Bernstein  
levittbernstein.co.uk



**GENERAL NOTES**

THIS DRAWING SHOULD NOT BE SCALED FROM. ALL DIMENSIONS SHOULD BE TAKEN FROM RELEVANT DRAWINGS. IF NO DIMENSIONS ARE AVAILABLE, THEN THE ENGINEER SHOULD BE CONTACTED FOR ADVICE.

ALL DIMENSIONS SHOULD BE CHECKED ON SITE AND ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCEMENT OF WORKS.

ALL WORKS RELATING TO PROPOSED SEWERS SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE DESIGN AND CONSTRUCTION GUIDANCE FOR FOUL AND SURFACE WATER SEWERS OFFERED FOR ADOPTION UNDER THE CODE FOR ADOPTION AGREEMENTS FOR WATER AND SEWERAGE COMPANIES OPERATING WHOLLY OR MAINLY IN ENGLAND (THE CODE) AND SHALL BE REFERRED TO AS THE CODE.

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS TO ENSURE THAT THE ADOPTED SCENARIOS (AS INDICATED ON THIS DRAWING) ARE CONSTRUCTED IN ACCORDANCE WITH THE CODE AND ALL STATUTORY UNDERTAKEE AMENDMENTS.

THE DESIGN OF THE SEWERS AND OTHER ELEMENTS TO BE ADOPTED (AS INDICATED ON THIS DRAWING) HAVE BEEN DESIGNED IN ACCORDANCE WITH PARTS B, C AND D OF THE CODE. PAVING STATION DESIGNS WILL BE CARRIED OUT BY A SPECIALIST THIRD PARTY.

THE CONSTRUCTION OF THE SEWERS TO BE ADOPTED (AS INDICATED ON THIS DRAWING) WILL BE ACCORDANCE WITH PARTS B TO F OF THE CODE.

THE DEVELOPER WILL REMAIN RESPONSIBLE FOR THE SEWERS TO BE ADOPTED (AS INDICATED ON THIS DRAWING) UP TO THE TIME THE SEWERS ARE ADOPTED.

IF ANY EXISTING SEWERS ARE LOCATED ON SITE DURING THE WORKS THE ENGINEER SHALL BE NOTIFIED. ANY UNKNOWN SEWERS LOCATED ON SITE SHALL NOT BE REMOVED UNTIL ADVISED OTHERWISE.

THE DEVELOPER SHALL PROVIDE AN AS-BUILT SURVEY OF THE DRAINAGE TO THE ENGINEER UPON COMPLETION OF WORKS SO THAT AN AS-BUILT RECORD DRAWING CAN BE PREPARED.

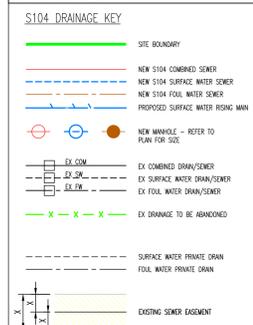
THE DEVELOPER SHALL PROVIDE A COM HEALTH AND SAFETY FILE IN ACCORDANCE WITH THE GUIDANCE PROVIDED IN APPENDIX 1 OF THE CODE.

**PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO ENSURE THAT THE PROPOSED DRAINAGE DOES NOT CLASH WITH THE EXISTING SERVICES. THE CONTRACTOR IS TO ALLOW FOR THIS PROVISION WITHIN THE TENDER SUM.**

**THE CONTRACTOR SHALL BE RESPONSIBLE FOR ATTAINING ALL NECESSARY APPROVALS FOR ANY SERVICE DIMENSIONS REQUIRED TO FACILITATE THE PROPOSED WORKS.**

20m x 100mm x 2.25m DEEP SURFACE WATER ATTENUATION @ 1:15, 15% POLYCONCRETE SLABS FOR SEWERS SYSTEMS TO BE INSTALLED & INSTALLED TO MANUFACTURER'S SPECIFIC INSTRUCTIONS. CONTRACTOR TO ALLOW FOR CONSTRUCTION USING COLLAR ATTACHMENT TO BE SHOWN. CONTRACTOR TO ALLOW FOR PROTECTIVE PROTECTION TO PREVENT EXCESS LOADING OF CELLULAR ATTENUATION.

FOR OFF SITE DRAINAGE WORKS REFER TO DRAWING NO. 30864-SUT-ZZ-XX-DR-C-6551



NOTE: ALL DRAINAGE CONNECTIONS SHALL BE SOFFIT TO SOFFIT UNLESS DETAILED/NOTED OTHERWISE

NOTE: NO ADOPTABLE WORKS SHALL BE CARRIED OUT UNTIL FULLY APPROVED BY ADOPTING AUTHORITY. ANY WORKS CARRIED OUT PRIOR TO APPROVAL WILL BE UNDERTAKEN AT CONTRACTORS RISK.

NOTE: CONCRETE PROTECTION SHALL BE GRADE GEN 3 (C16/C20) COMPLYING WITH BRE SPECIAL DIGEST 1.

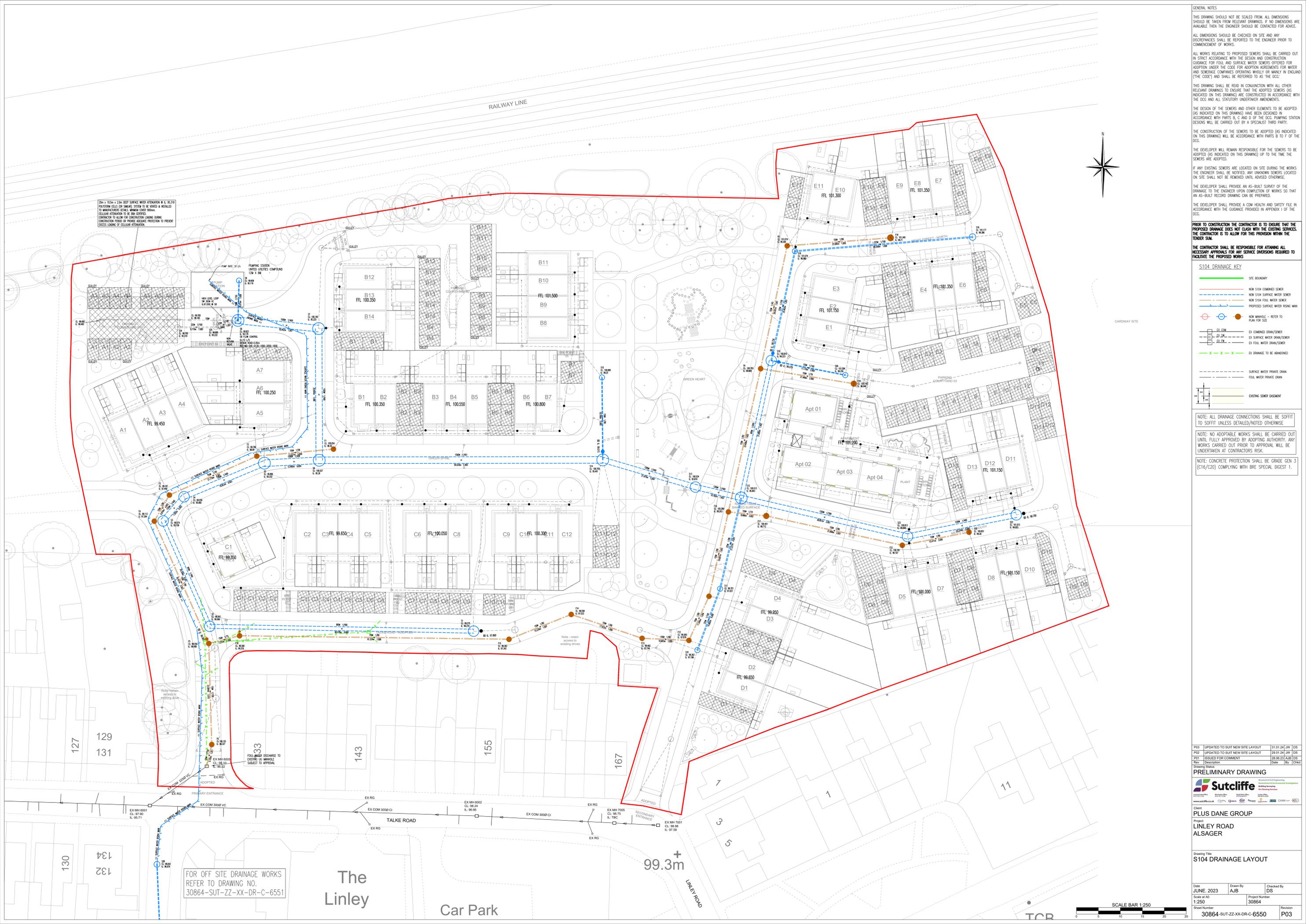
P03	UPDATED TO SUIT NEW SITE LAYOUT	31.01.24 JW	DS
P02	UPDATED TO SUIT NEW SITE LAYOUT	29.01.24 JW	DS
P01	ISSUED FOR COMMENT	28.06.23 AJB	DS
Rev	Description	Date	By (C/M)

**PRELIMINARY DRAWING**

**Sutcliffe**

Client: PLUS DANE GROUP  
Project: LINLEY ROAD ALSAGER

Date	June 2023	Drawn By	AJB	Checked By	DS
Scale at A0	1:250	Project Number	30864	Sheet Number	30864-SUT-ZZ-XX-DR-C-6550
Revision					P03





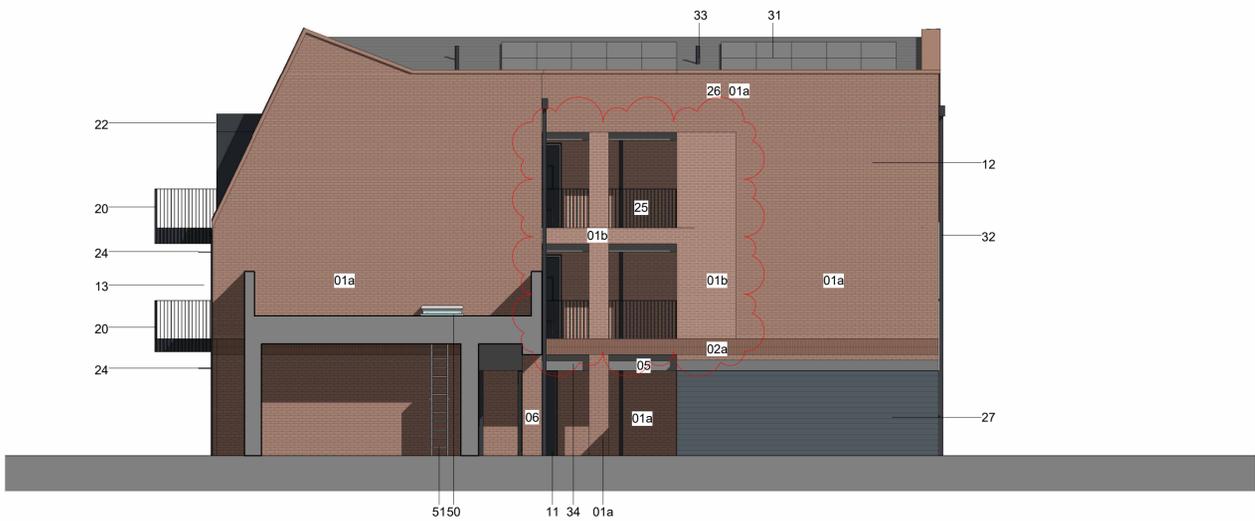
1 | External Material Intent - Elevation A -

1:100



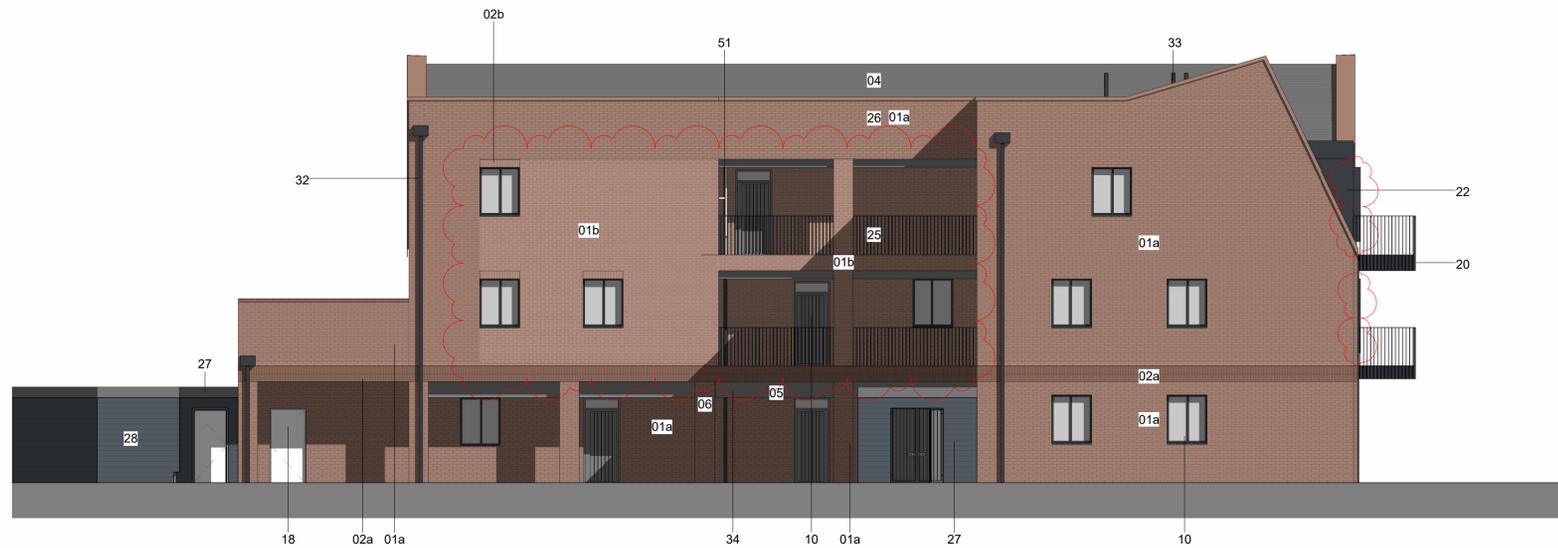
2 | External Material Intent - Elevation B -

1:100



3 | External Material Intent - Elevation C -

1:100



4 | External Material Intent - Elevation D -

1:100



**Notes**

- Do not scale this drawing.
  - All dimensions must be checked on site and any discrepancies verified with the architect.
  - Unless shown otherwise, all dimensions are to structural surfaces.
  - Drawing to be read with all other issued information. Any discrepancies to be brought to the attention of the architect.
  - This drawing is the copyright of Levitt Bernstein and may not be copied, altered or reproduced in any form, or passed to a third party without license or written consent.
  - This document is prepared for the sole use of Plus Dane and no liability to any other persons is accepted by Levitt Bernstein. Levitt Bernstein accepts no liability for use of this drawing by parties other than the party for whom it was prepared or for purposes other than those for which it was prepared.
- This is not a construction drawing, it is unsuitable for the purpose of construction and must on no account be used as such.

**Key**

**FINISHES**

- 01a Brick - Stretcher bond - Dark mortar
- 01b Brick - Stretcher bond - Light mortar
- 02a Brick - Double soldier - Dark mortar
- 02b Brick - Double soldier - Light mortar
- 03 Weatherboard cladding
- 04 Concrete roof tile
- 05 PCC aluminium fascia
- 06 Brick encased column

**COMPONENTS**

- 10 Private external doorset
- 11 Communal external doorset
- 12 Window - residential
- 13 Patio doorset - brick reveal
- 14 French doorset
- 15 AOV window
- 16 Window - fixed
- 17 Curtain walling / Entrance doorset
- 18 Metal louvred doorset

**ELEMENTS**

- 20 Balconies with balustrade and top bar formed of 50x10 PPC MS flats.
- 21 Entrance canopy - PPC aluminium
- 22 Balcony canopy - PPC aluminium
- 23 Juliet balcony balustrade formed of 50x10 PPC MS flats
- 24 Perforated metal solar shading
- 25 Walkway balustrade and top bar formed of 50x10 PPC MS flats.
- 26 Brick parapet
- 27 Bin store
- 28 Cycle store (minimum capacity: 11 cycles)
- 29 Projecting window lining (anthracite to match window frames)

**MEPH**

- 30 Dry riser inlet
- 31 PV panels
- 32 PPC Metal RWP and hopper
- 33 SVP roof vent
- 34 MVHR vent within fascia.

**ACCESS & MAINTENANCE**

- 50 Roof access hatch
- 51 Cat ladder

**GENERAL NOTES**

- Windows / Doorsets to have brick reveals within brickwork walls and aluminium linings within weatherboard cladding.
- Landscape and boundary treatments as per Landscape Architect design

Rev	Date	Description	Drawn / Checked
P6	14/03/24	PLANNING UPDATES	JR/JP
P5	25/05/23	PLANNING ISSUE	JR/GH
P4	29/03/23	PLANNING ISSUE	JR/GH
P3	22/03/23	Draft Planning Issue	JR
P2	28/02/23	Lift removed & design updates	JR
P1	10/02/23	Preliminary	JC

Project name

**LINLEY ROAD PLUS DANE**

Drawing number

Rev

3845A - LB - BA - XX - D - A - 130100 **P6**

Drawing

Block A-GA Elevations

Purpose of issue  
**FOR PLANNING**

Suitability Code

Scale  
As indicated @ A1

Date  
**FEB 23**

Client  
**Plus Dane**

Levitt Bernstein  
levittbernstein.co.uk

**London**  
Thame Studios  
2-4 Thame Villas  
London W7 7PA  
+44 (0)20 7275 7676

**Manchester**  
Bonded Warehouse  
18 Lower Byrom Street  
Manchester M3 4AP  
+44 (0)161 668 8740

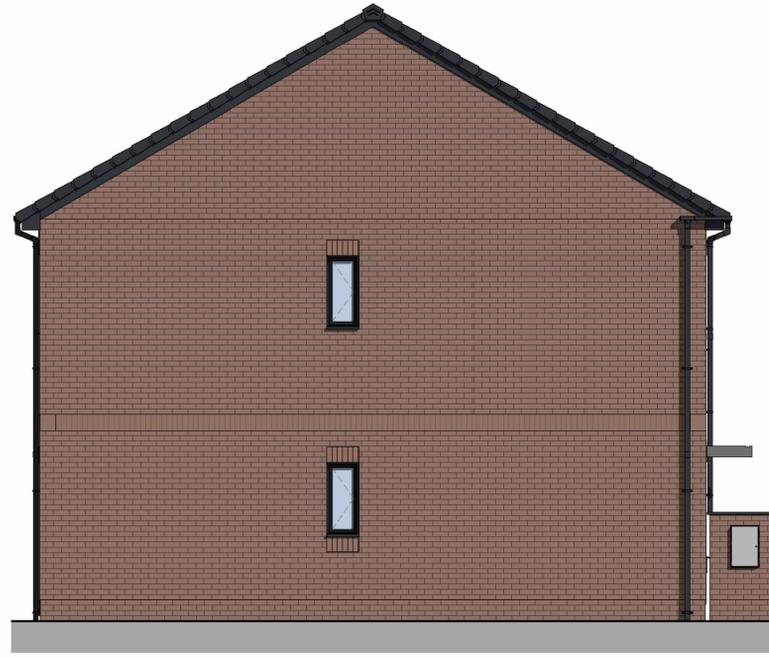
# ILKE HOUSE TYPE | HOLT-A & A.w



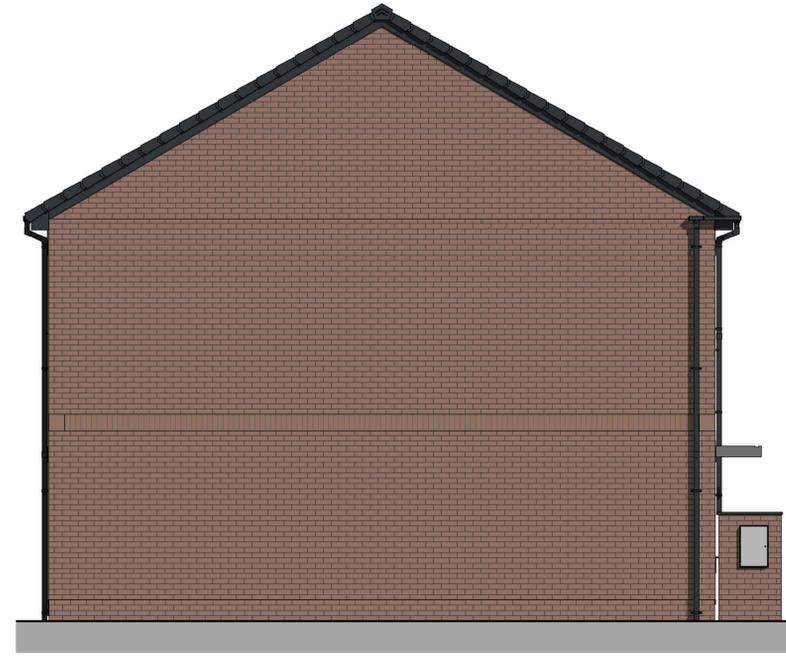
2 | Holt-A & A.w Front Elevation - Material Intent  
1:50



1 | Holt-A & A.w Rear Elevation - Material Intent  
1:50



3 | Holt-A.w Side Elevation - Material Intent  
1:50



7 | Holt-A Side Elevation - Material Intent  
1:50

**Notes**

- Do not scale this drawing.
- All dimensions must be checked on site and any discrepancies verified with the architect.
- Unless shown otherwise, all dimensions are to structural surfaces.
- Drawing to be read with all other issued information. Any discrepancies to be brought to the attention of the architect.
- This drawing is the copyright of Levitt Bernstein and may not be copied, altered or reproduced in any form, or passed to a third party without license or written consent.
- This document is prepared for the sole use of Plus Dane and no liability to any other persons is accepted by Levitt Bernstein. Levitt Bernstein accepts no liability for use of this drawing by parties other than the party for whom it was prepared or for purposes other than those for which it was prepared.

This is not a construction drawing, it is unsuitable for the purpose of construction and must not be used as such.

**Elevation Material Key**

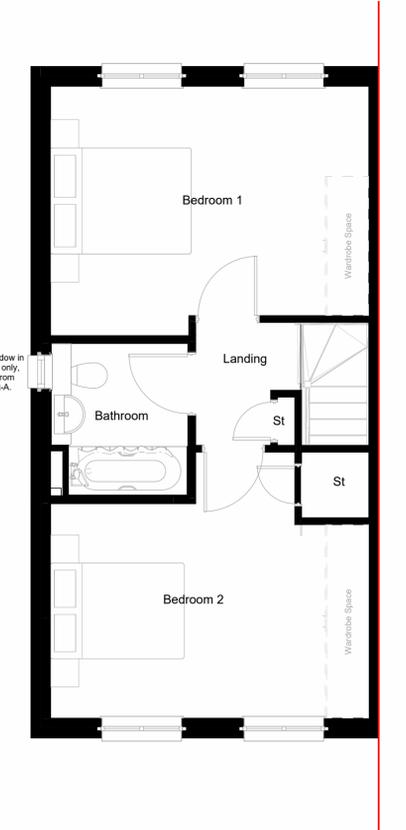
- Red brick - soldier course datum
- Red brick - stretcher course
- Render - off white
- Weatherboard - anthracite

RWP, Fascia fittings & Windows - anthracite



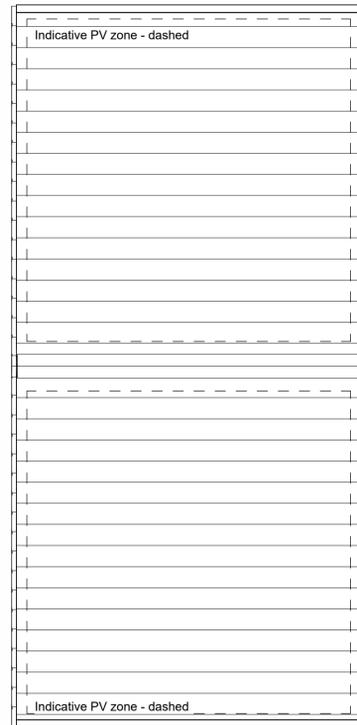
4 | Holt-A & A.w Ground Floor Plan  
1:50

GF



5 | Holt-A & A.w First Floor Plan  
1:50

1F



6 | Holt-A & A.w Roof Plan  
1:50

- Holt-A & A.w**
- End/Mid plot
  - Roof: Standard 30deg
  - L00 Elevation: Brick slip
  - L01 Elevation: Brick slip
  - Side Window: Holt-A [NO] / Holt-A.w [YES]
- Holt-B**
- End plot
  - Roof: Front 46deg gable
  - L00 Elevation: Brick slip
  - L01 Elevation: Brick slip
  - Side Window: No
- Holt-C & C.w**
- End/Mid plot
  - Roof: Standard 30deg
  - L00 Elevation: Brick slip
  - L01 Elevation: Render
  - Side Window: Holt-C [NO] / Holt-C.w [YES]
- Holt-D**
- End/Mid plot
  - Roof: Standard 30deg
  - L00 Elevation: Brick slip
  - L01 Elevation: Weatherboard
  - Side Window: No
- Holt-E.w**
- End plot
  - Roof: Standard Front gable 46deg
  - L00 Elevation: Brick slip
  - L01 Elevation: Weatherboard
  - Side Window: Yes

Area Schedule (GIA) - House Sub-Types - Holt A, A.w

Number	Ilke Sub-Type	GF Elevation	Upper Elevation	Side Window	Upgraded acoustic trickle vents
A6	Holt-A	Brick Slip	Brick Slip	No	
B2	Holt-A	Brick Slip	Brick Slip	No	
B3	Holt-A	Brick Slip	Brick Slip	No	
B4	Holt-A	Brick Slip	Brick Slip	No	
B5	Holt-A	Brick Slip	Brick Slip	No	
Holt-A: 5					
A7	Holt-A.w	Brick Slip	Brick Slip	Yes	
Holt-A.w: 1					
Grand total: 6					

Rev	Date	Description	Drawn / Checked
P5	25.05.23	PLANNING ISSUE - Ilke updates	JR/GH
P4	29.03.23	PLANNING ISSUE	JR/GH
P3	22.03.23	Draft Planning issue	JR
P2	10.03.23	Draft Planning issue	JR
P1	28.02.23	Ilke Types - draft issue	JR

Project name  
**LINLEY ROAD PLUS DANE**

Drawing number  
**3845A - LB - IH - XX - D - A - 120300** P5

House Type - Holt-A & A.w

Purpose of issue  
**FOR PLANNING**

Scale  
**1 : 50 @ A1**

Date  
**01/16/23**

Client  
**Plus Dane**

**London**  
Thane Studios  
2-4 Thane Villas  
London N7 7PA  
+44 (0)20 7275 7676

**Manchester**  
Bonded Warehouse  
18 Lower Byrom Street  
Manchester M3 4AP  
+44 (0)161 669 8740

Levitt Bernstein  
levittbernstein.co.uk



# ILKE HOUSE TYPE | HOLT-C & C.w



2 | Holt-C & C.w Front Elevation - Material Intent

1:50



1 | Holt-C & C.w Rear Elevation - Material Intent

1:50



3 | Holt-C & C.w Side Elevation - Material Intent

1:50

Holt-A & A.w	
• End/Mid plot	• Roof: Standard 30deg
• L00 Elevation: Brick slip	• L01 Elevation: Brick slip
• Side Window: Holt-A [NO] / Holt-A.w [YES]	
Holt-B	
• End plot	• Roof: Front 46deg gable
• L00 Elevation: Brick slip	• L01 Elevation: Brick slip
• Side Window: No	
Holt-C & C.w	
• End/Mid plot	• Roof: Standard 30deg
• L00 Elevation: Brick slip	• L01 Elevation: Render
• Side Window: Holt-C [NO] / Holt-C.w [YES]	
Holt-D	
• End/Mid plot	• Roof: Standard 30deg
• L00 Elevation: Brick slip	• L01 Elevation: Weatherboard
• Side Window: No	
Holt-E.w	
• End plot	• Roof: Standard Front gable 46deg
• L00 Elevation: Brick slip	• L01 Elevation: Weatherboard
• Side Window: Yes	

## Notes

1. Do not scale this drawing.
2. All dimensions must be checked on site and any discrepancies verified with the architect.
3. Unless shown otherwise, all dimensions are to structural surfaces.
4. Drawing to be read with all other issued information. Any discrepancies to be brought to the attention of the architect.
5. This drawing is the copyright of Levitt Bernstein and may not be copied, altered or reproduced in any form, or passed to a third party without license or written consent.
6. This document is prepared for the sole use of Plus Dane and no liability to any other persons is accepted by Levitt Bernstein. Levitt Bernstein accepts no liability for use of this drawing by parties other than the party for whom it was prepared or for purposes other than those for which it was prepared.

This is not a construction drawing, it is unsuitable for the purpose of construction and must on no account be used as such.

## Elevation Material Key

- Red brick - soldier course datum
- Red brick - stretcher course
- Render - off white
- Weatherboard - anthracite

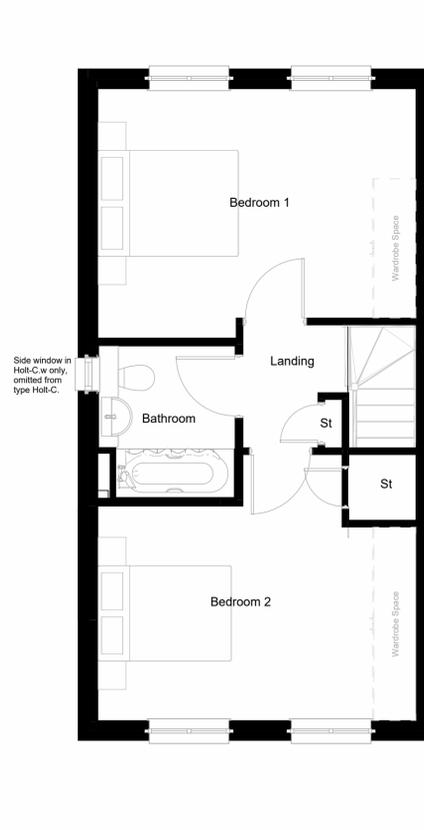
RWP, Fascia fittings & Windows - anthracite



4 | Holt-C & C.w Ground Floor Plan

1:50

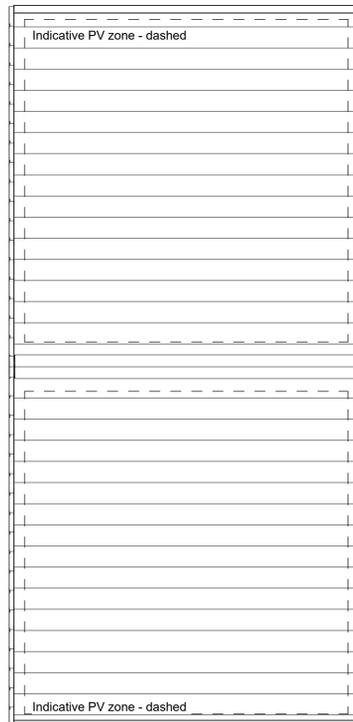
GF



5 | Holt-C & C.w First Floor Plan

1:50

1F



6 | Holt-C & C.w Roof Plan

1:50

Area Schedule (GIA) - House Sub-Types - Holt C					
Number	Ilke Sub-Type	GF Elevation	Upper Elevation.	Side Window	Upgraded acoustic trickle vents
B12	Holt-C	Brick Slip	Render	No	
B13	Holt-C	Brick Slip	Render	No	
D12	Holt-C	Brick Slip	Render	No	Yes
E8	Holt-C	Brick Slip	Render	No	Yes
E9	Holt-C	Brick Slip	Render	No	Yes
Holt-C: 5					
B14	Holt-C.w	Brick Slip	Render	Yes	
D11	Holt-C.w	Brick Slip	Render	Yes	Yes
D13	Holt-C.w	Brick Slip	Render	Yes	Yes
E7	Holt-C.w	Brick Slip	Render	Yes	Yes
Holt-C.w: 4					
Grand total: 9					

P5	25.05.23	PLANNING ISSUE - Ilke updates	JR/GH
P4	29.03.23	PLANNING ISSUE	JR/GH
P3	22.03.23	Draft Planning issue	JR
P2	10.03.23	Draft Planning issue	JR
P1	28.02.23	Ilke Types - draft issue	JR
Rev	Date	Description	Drawn / Checked

Project name

## LINLEY ROAD PLUS DANE

Drawing number Rev

3845A - LB - IH - XX - D - A - 120302 P5

Drawing

## House Type - Holt-C & C.w

Purpose of issue FOR PLANNING

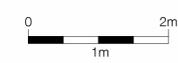
Scale Date  
1:50 @ A1 01/16/23

Client Plus Dane

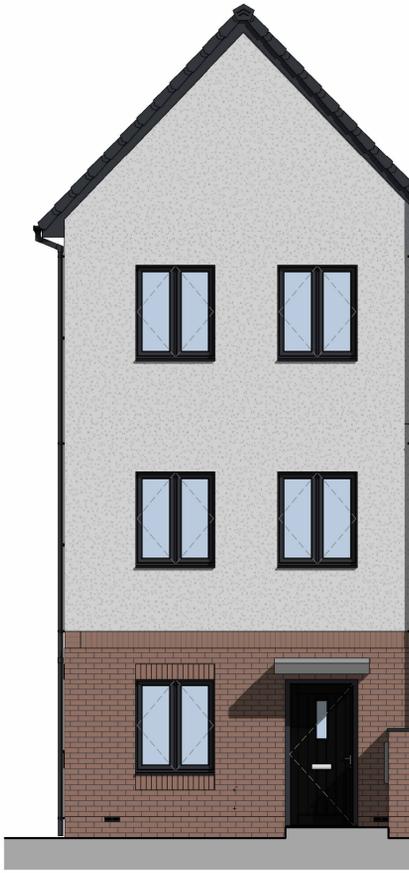
**London**  
Thane Studios  
2-4 Thane Villas  
London N7 7PA  
+44 (0)20 7275 7676

**Manchester**  
Bonded Warehouse  
18 Lower Byrom Street  
Manchester M3 4AP  
+44 (0)161 666 8740

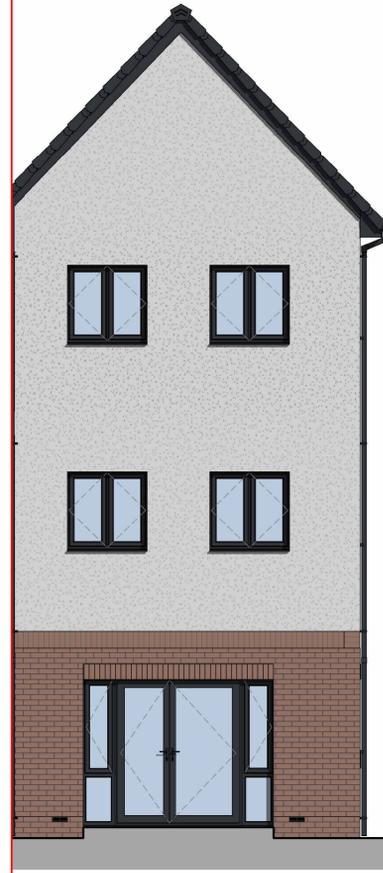
Levitt Bernstein  
levittbernstein.co.uk



# ILKE HOUSE TYPE | ROCKINGHAM-A & A.w



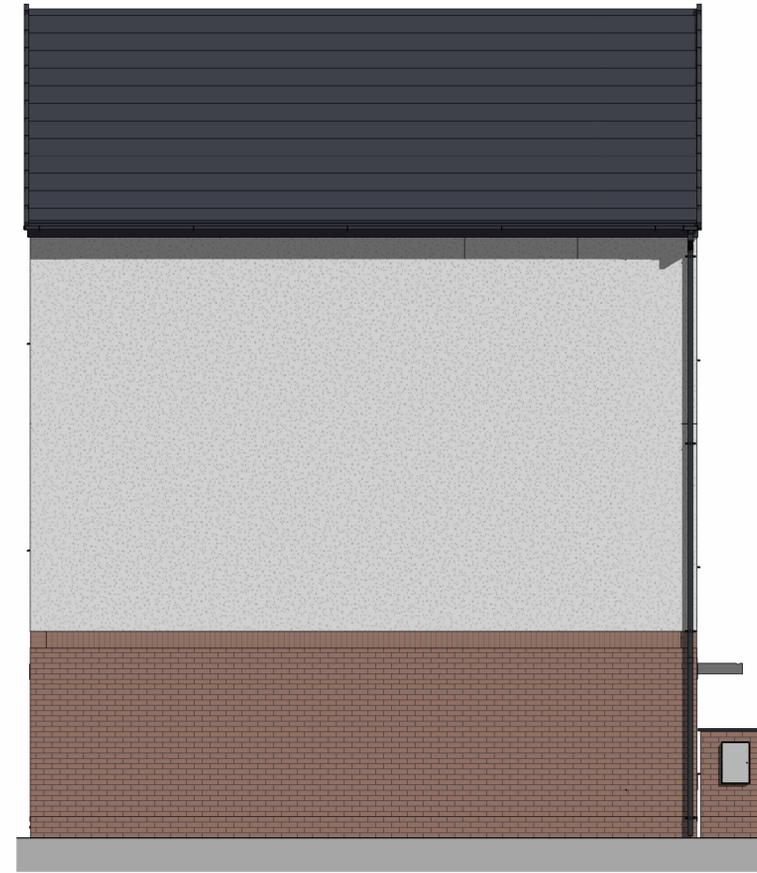
1 | Rockingham A & A.w Front Elevation - Material Intent  
1:50



2 | Rockingham A & A.w Rear Elevation - Material Intent  
1:50



3 | Rockingham A.w Side Elevation - Material Intent  
1:50



8 | Rockingham A Side Elevation - Material Intent  
1:50

**Notes**

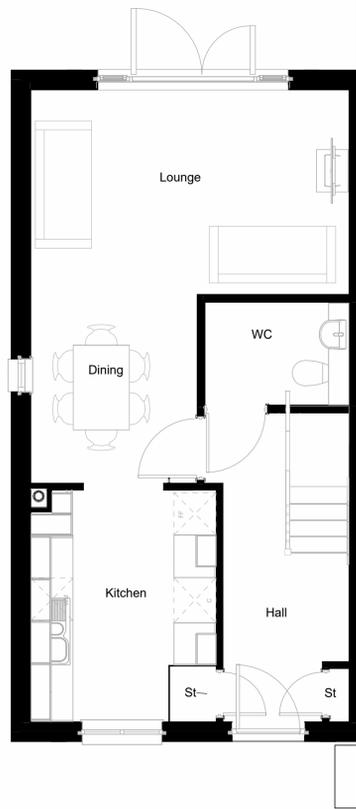
1. Do not scale this drawing.
2. All dimensions must be checked on site and any discrepancies verified with the architect.
3. Unless shown otherwise, all dimensions are to structural surfaces.
4. Drawing to be read with all other issued information. Any discrepancies to be brought to the attention of the architect.
5. This drawing is the copyright of Levitt Bernstein and may not be copied, altered or reproduced in any form, or passed to a third party without license or written consent.
6. This document is prepared for the sole use of Plus Dane and no liability to any other persons is accepted by Levitt Bernstein. Levitt Bernstein accepts no liability for use of this drawing by parties other than the party for whom it was prepared or for purposes other than those for which it was prepared.

This is not a construction drawing, it is unsuitable for the purpose of construction and must on no account be used as such.

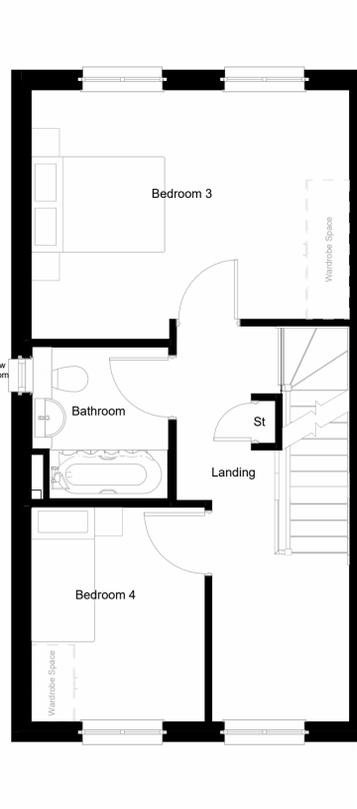
**Elevation Material Key**

- Red brick - soldier course datum
- Red brick - stretcher course
- Render - off white
- Weatherboard - anthracite

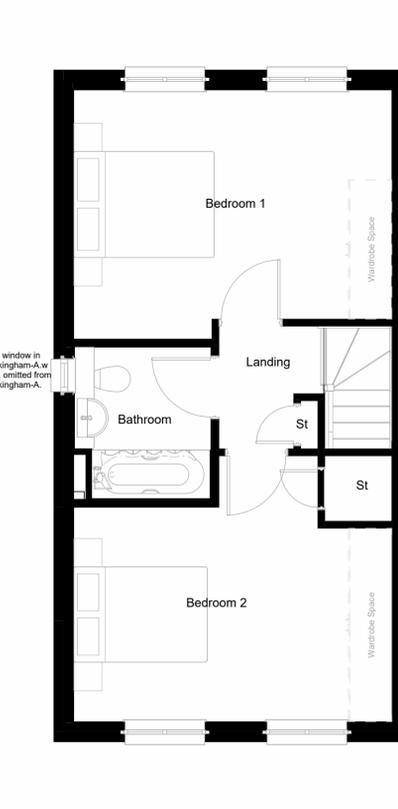
RWP, Fascia fittings & Windows - anthracite



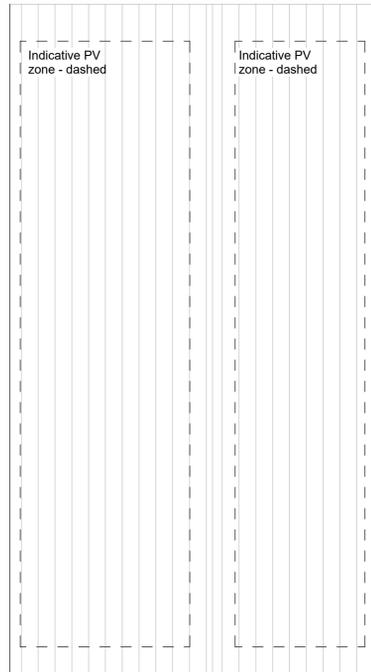
4 | Rockingham A & A.w Ground Floor Plan  
1:50



5 | Rockingham A & A.w First Floor Plan  
1:50



6 | Rockingham A & A.w Second Floor Plan  
1:50



7 | Rockingham Roof Plan A & A.w  
1:50

**Rockingham-A & A.w**

- End/Mid plot
- Roof: Front gable 46deg
- L00 Elevation: Brick slip
- Upper Elevation: Render
- Side Window: Rockingham-A [NO] / Rockingham-A.w [YES]

Area Schedule (GIA) - House Sub-Types - Rockingham A

Number	Ilke Sub-Type	GF Elevation	Upper Elevation	Side Window	Upgraded acoustic trickle vents
B9	Rockingham-A	Brick Slip	Render	No	
B10	Rockingham-A	Brick Slip	Render	No	
B11	Rockingham-A	Brick Slip	Render	No	
Rockingham-A: 3					
B8	Rockingham-A.w	Brick Slip	Render	Yes	
Rockingham-A.w: 1					
Grand total: 4					

Rev	Date	Description	Drawn / Checked
P5	25.05.23	PLANNING ISSUE - ilke updates	JR/GH
P4	29.03.23	PLANNING ISSUE	JR/GH
P3	22.03.23	Draft Planning issue	JR
P2	10.03.23	Draft Planning issue	JR
P1	28.02.23	Ilke Types - draft issue	JR

Project name  
**LINLEY ROAD PLUS DANE**

Drawing number  
**3845A - LB - IH - XX - D - A - 120330**

House Type - Rockingham-A & A.w

Purpose of issue  
**FOR PLANNING**

Scale  
**1:50 @ A1**

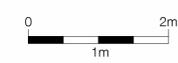
Date  
**01/18/23**

Client  
**Plus Dane**

**London**  
Thane Studios  
2-4 Thane Villas  
London N7 7PA  
+44 (0)20 7275 7676

**Manchester**  
Bonded Warehouse  
18 Lower Byrom Street  
Manchester M3 4AP  
+44 (0)161 666 8740

Levitt Bernstein  
levittbernstein.co.uk



GF

1F

2F

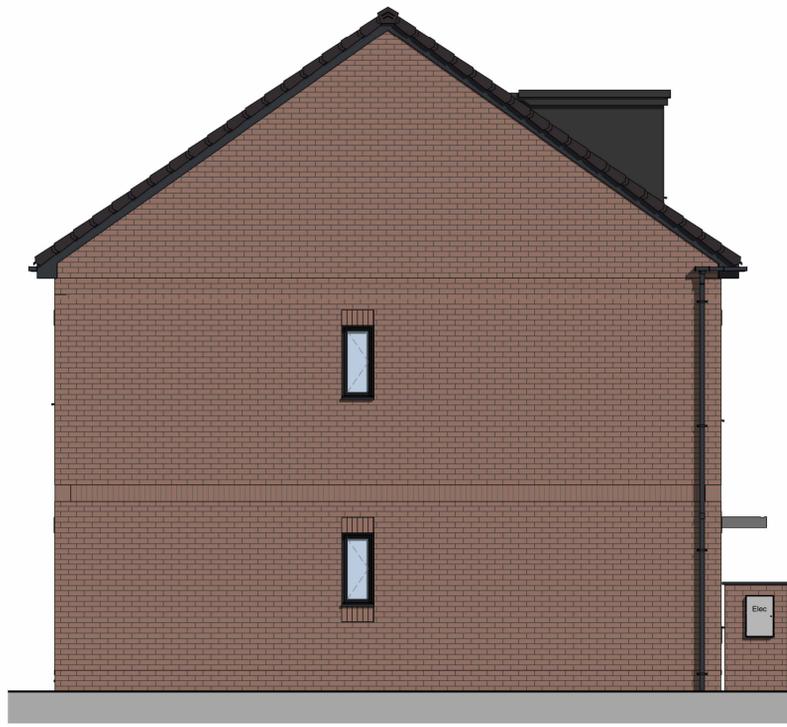
# ILKE HOUSE TYPE | THETFORD-A & A.w



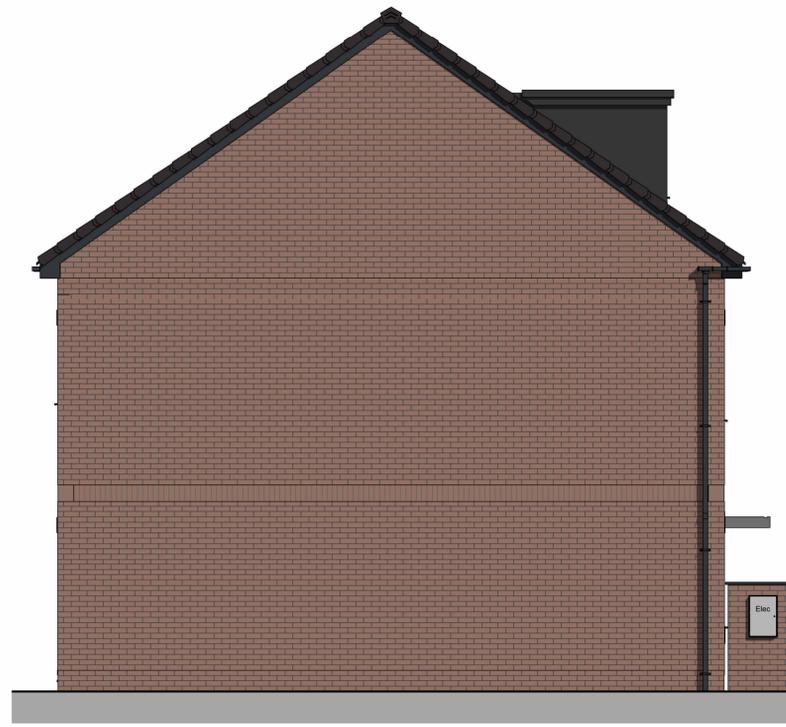
1 | Thetford A & A.w Front Elevation - Material Intent  
1:50



2 | Thetford A & A.w Rear Elevation - Material Intent  
1:50



3 | Thetford A.w Side Elevation - Material Intent  
1:50



8 | Thetford A Side Elevation - Material Intent  
1:50

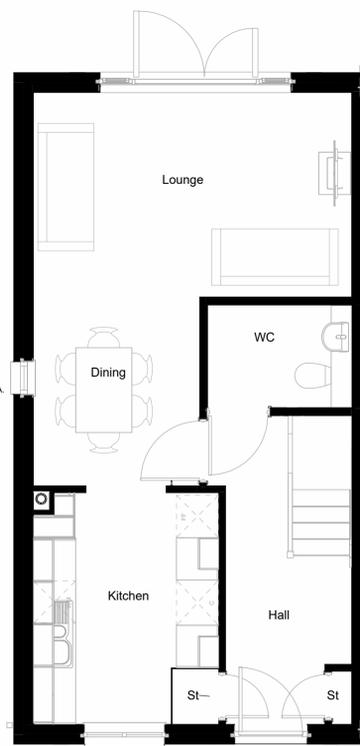
## Notes

- Do not scale this drawing.
- All dimensions must be checked on site and any discrepancies verified with the architect.
- Unless shown otherwise, all dimensions are to structural surfaces.
- Drawing to be read with all other issued information. Any discrepancies to be brought to the attention of the architect.
- This drawing is the copyright of Levitt Bernstein and may not be copied, altered or reproduced in any form, or passed to a third party without license or written consent.
- This document is prepared for the sole use of Plus Dane and no liability to any other persons is accepted by Levitt Bernstein. Levitt Bernstein accepts no liability for use of this drawing by parties other than the party for whom it was prepared or for purposes other than those for which it was prepared.

This is not a construction drawing, it is unsuitable for the purpose of construction and must on no account be used as such.

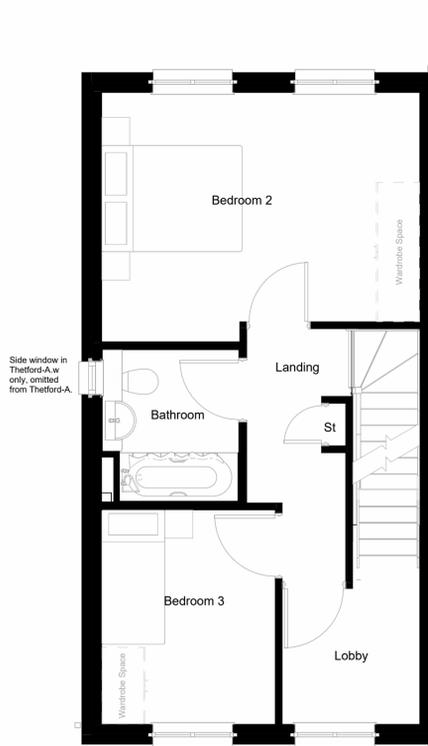
## Elevation Material Key

- Red brick - soldier course datum
  - Red brick - stretcher course
  - Render - off white
  - Weatherboard - anthracite
- RWP, Fascia fittings & Windows - anthracite



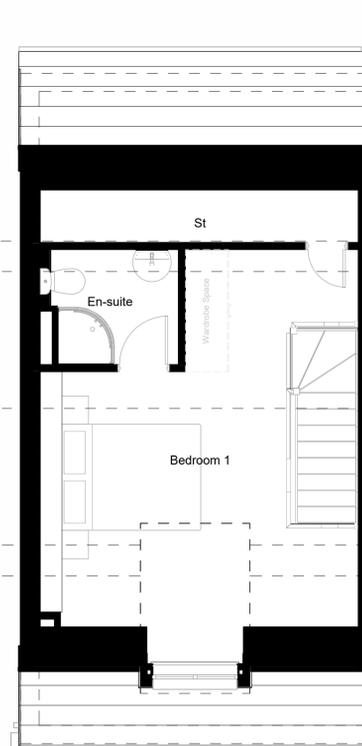
4 | Thetford A & A.w Ground Floor Plan  
1:50

GF



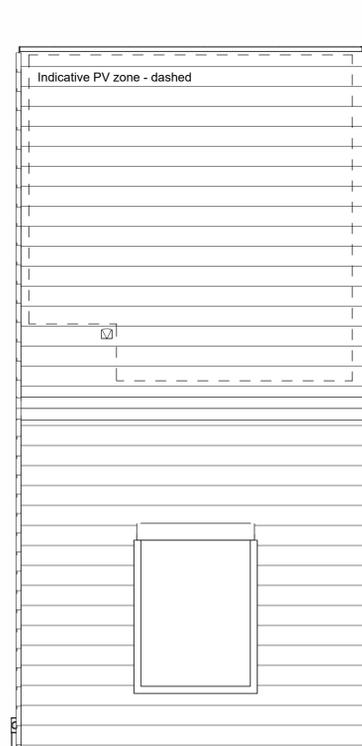
5 | Thetford A & A.w First Floor Plan  
1:50

1F



7 | Thetford A Second Floor Plan  
1:50

2F



6 | Thetford A Roof Plan  
1:50

- Thetford-A & A.w**
- End/Mid Plot
  - Roof: Room in roof 35deg
  - L00 Elevation: Brick slip
  - L01 Elevation: Brick slip
  - Side Window: Thetford-A [NO] / Thetford-A.w [YES]
- Thetford-B & B.w**
- End/Mid plot
  - Roof: Room in roof 35deg
  - L00 Elevation: Brick slip
  - L01 Elevation: Render
  - Side Window: Thetford-B [NO] / Thetford-B.w [YES]

Area Schedule (GIA) - House Sub-Types - Thetford A					
Number	Ilke Sub-Type	GF Elevation	Upper Elevation.	Side Window	Upgraded acoustic trickle vents
C3	Thetford-A	Brick Slip	Brick Slip	No	
C4	Thetford-A	Brick Slip	Brick Slip	No	
C5	Thetford-A	Brick Slip	Brick Slip	No	
C9	Thetford-A	Brick Slip	Brick Slip	No	
C10	Thetford-A	Brick Slip	Brick Slip	No	
C11	Thetford-A	Brick Slip	Brick Slip	No	
E2	Thetford-A	Brick Slip	Brick Slip	No	
E3	Thetford-A	Brick Slip	Brick Slip	No	

Thetford-A: 8					
Number	Ilke Sub-Type	GF Elevation	Upper Elevation.	Side Window	Upgraded acoustic trickle vents
C2	Thetford-A.w	Brick Slip	Brick Slip	Yes	
C12	Thetford-A.w	Brick Slip	Brick Slip	Yes	
E1	Thetford-A.w	Brick Slip	Brick Slip	Yes	

Thetford-A.w: 3  
Grand total: 11

Rev	Date	Description	Drawn / Checked
P5	25.05.23	PLANNING ISSUE - ilke updates	JR/GH
P4	29.03.23	PLANNING ISSUE	JR/GH
P3	22.03.23	Draft Planning issue	JR
P2	10.03.23	Draft Planning issue	JR
P1	28.02.23	ilke Types - draft issue	JR

Project name  
**LINLEY ROAD PLUS DANE**

Drawing number  
**3845A - LB - IH - XX - D - A - 120320** P5

House Type - Thetford-A & A.w  
FOR PLANNING

Scale  
1:50 @ A1

Date  
01/18/23

Client  
Plus Dane

**London**  
Thane Studios  
2-4 Thane Villas  
London N7 7PA  
+44 (0)20 7275 7676

**Manchester**  
Bonded Warehouse  
18 Lower Byrom Street  
Manchester M3 4AP  
+44 (0)161 666 8740

Levitt Bernstein  
levittbernstein.co.uk

