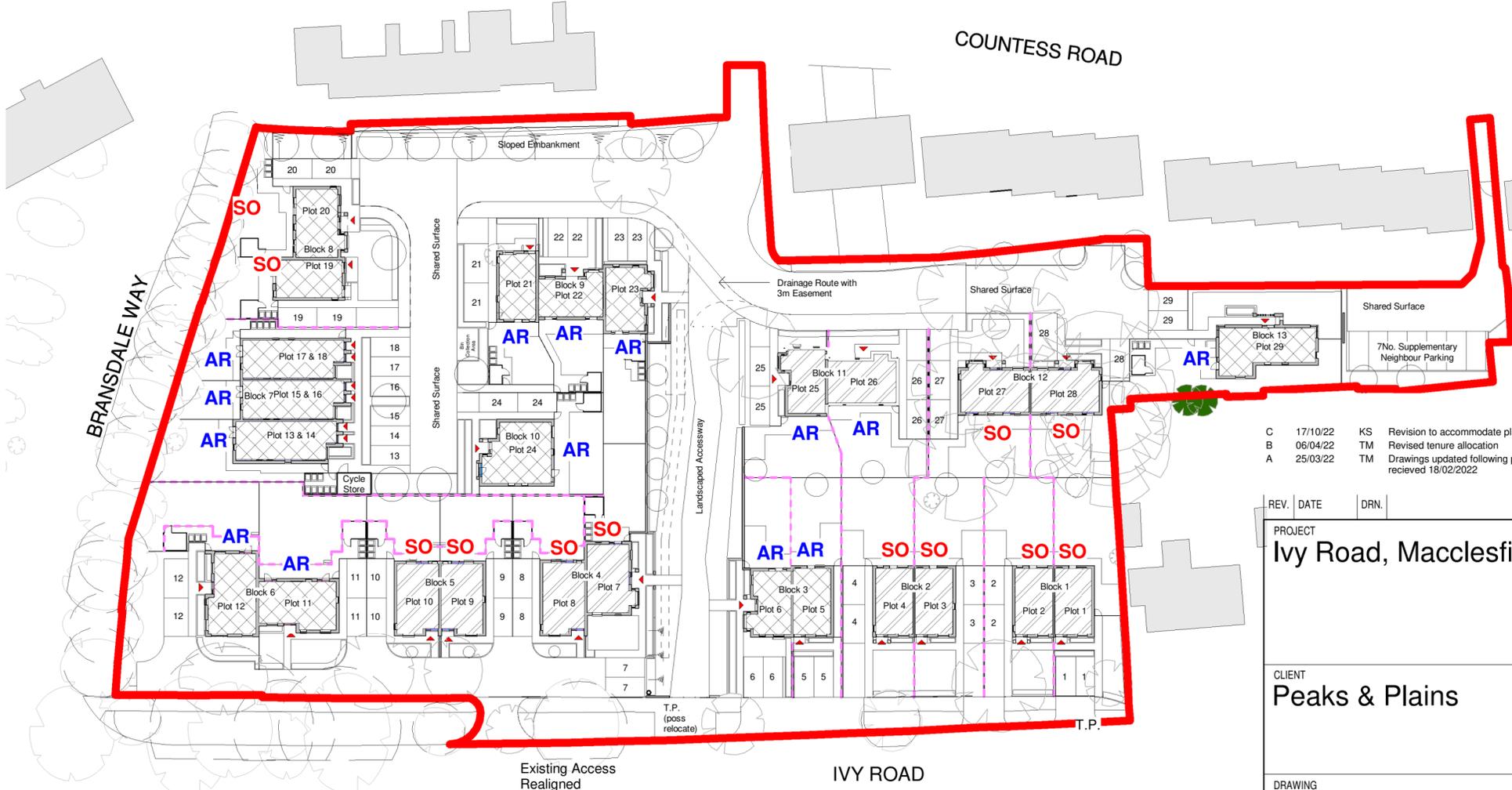


○ BOWKER SADLER PARTNERSHIP LIMITED
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN
 ■ DRAWING NOT TO BE SCALED.
 ■ REPORT ERRORS & OMISSIONS TO ARCHITECT.
 ■ CHECK ALL DIMENSIONS ON SITE
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Plot No	Type	Tenure	GIA	No of Beds	No of Occupants	Storeys	Parking
Plot 1	Semi-Detached	Shared Ownership	79m ²	2	4	2	200%
Plot 2	Semi-Detached	Shared Ownership	79m ²	2	4	2	200%
Plot 3	Semi-Detached	Shared Ownership	79m ²	2	4	2	200%
Plot 4	Semi-Detached	Shared Ownership	79m ²	2	4	2	200%
Plot 5	Semi-Detached	Affordable Rent	79m ²	2	4	2	200%
Plot 6	Semi-Detached	Affordable Rent	79m ²	2	4	2	200%
Plot 7	Semi-Detached	Shared Ownership	93m ²	3	5	2	200%
Plot 8	Semi-Detached	Shared Ownership	93m ²	3	5	2	200%
Plot 9	Semi-Detached	Shared Ownership	93m ²	3	5	2	200%
Plot 10	Semi-Detached	Shared Ownership	93m ²	3	5	2	200%
Plot 11	Semi-Detached	Affordable Rent	117m ²	4	7	2	200%
Plot 12	Semi-Detached	Affordable Rent	122m ²	4	7	2	200%
Plot 13	Apartment	Affordable Rent	51m ²	1	2	*1	100%
Plot 14	Apartment	Affordable Rent	51m ²	1	2	*1	100%
Plot 15	Apartment	Affordable Rent	51m ²	1	2	*1	100%
Plot 16	Apartment	Affordable Rent	51m ²	1	2	*1	100%
Plot 17	Apartment	Affordable Rent	51m ²	1	2	*1	100%
Plot 18	Apartment	Affordable Rent	51m ²	1	2	*1	100%
Plot 19	Semi-Detached	Shared Ownership	80m ²	2	4	2	200%
Plot 20	Semi-Detached	Shared Ownership	93m ²	3	5	2	200%
Plot 21	Apartment	Affordable Rent	79m ²	2	4	2	200%
Plot 22	Apartment	Affordable Rent	79m ²	2	4	2	200%
Plot 23	Apartment	Affordable Rent	79m ²	2	4	2	200%
Plot 24	Bungalow	Affordable Rent	62m ²	2	3	1	200%
Plot 25	Semi-Detached	Affordable Rent	79m ²	2	4	2	200%
Plot 26	Semi-Detached	Affordable Rent	79m ²	2	4	2	200%
Plot 27	Semi-Detached	Shared Ownership	93m ²	3	5	2	200%
Plot 28	Semi-Detached	Shared Ownership	93m ²	3	5	2	200%
Plot 29	Bungalow	Affordable Rent	62m ²	2	3	1	200%



C 17/10/22 KS Revision to accommodate planning comments MD
 B 06/04/22 TM Revised tenure allocation MD
 A 25/03/22 TM Drawings updated following planners comments received 18/02/2022 MD

REV.	DATE	DRN.	CHKD.

PROJECT
Ivy Road, Macclesfield

CLIENT
Peaks & Plains

DRAWING
House Type / Tenure Allocation

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 500	@ A2	TM	MD	23/11/2021

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

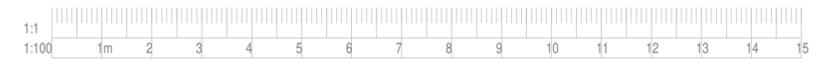
JOB No	DRAWING No	REVISION
20014	1004	C

STATUS
Planning

*Single Storey Apartments - Block 7
 Two Storey Overall
 AR Affordable Rent
 SO Shared Ownership

Summary of Schedule of Accommodation

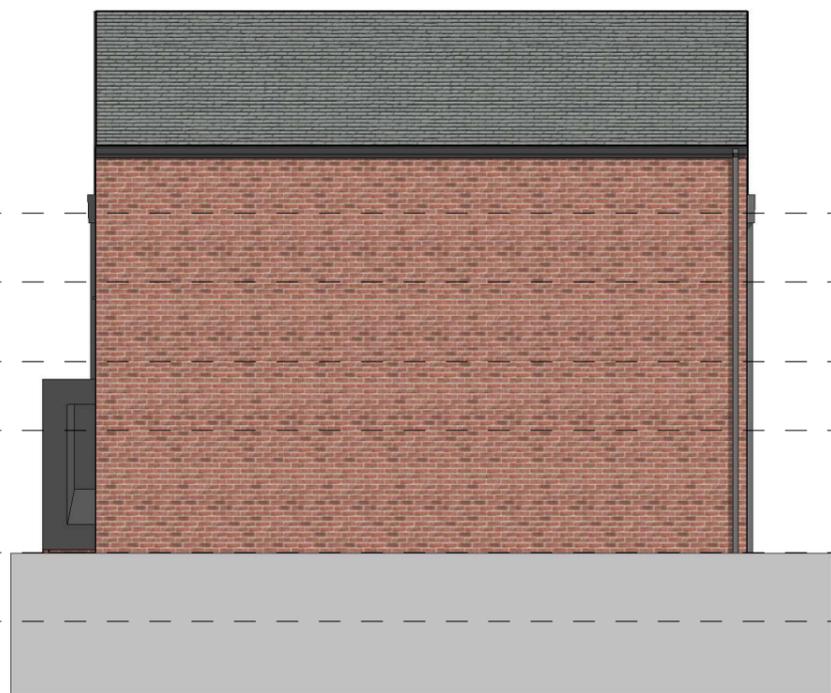
Type	Area	No.	Parking
1b2p Apartments	51m ²	6	200%
2b3p Bungalows	62m ²	2	200%
2b4p Houses	79m ²	12	200%
3b5p Houses	93m ²	7	200%
4b7p Houses	115m ²	2	200%
Total Units		29 No. Homes	



BOWKER SADLER PARTNERSHIP LIMITED
 THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN
 REPORT ERRORS & OMISSIONS TO ARCHITECT.
 CHECK ALL DIMENSIONS ON SITE
 DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS



Front
1 : 100



Right
1 : 100

Material Schedule

Walls: red brick compatible with local vernacular
 Roofs: thin edge tile
 Projecting surrounds to doors/windows: Metal clad

REV.	DATE	DRN.	CHKD.
B	20/09/22	KS	Revision to accommodate planning comments
A	29/03/22	TM	Fenestration amendment

REV.	DATE	DRN.	CHKD.
------	------	------	-------

PROJECT
Ivy Road, Macclesfield

CLIENT
Peaks & Plains

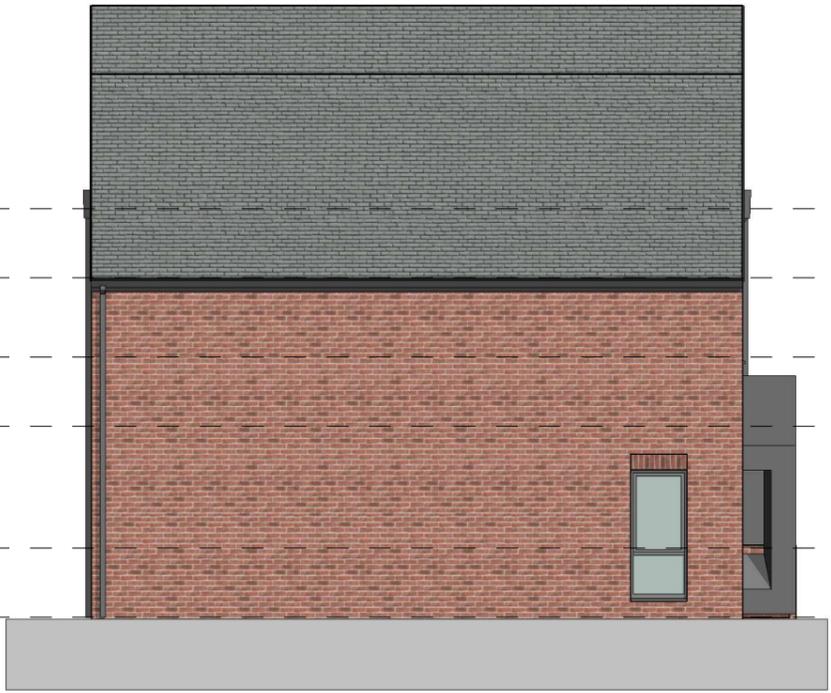
DRAWING
Block 1 Elevations

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@A3	PC	MD	23/07/21

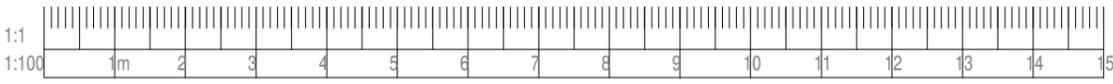
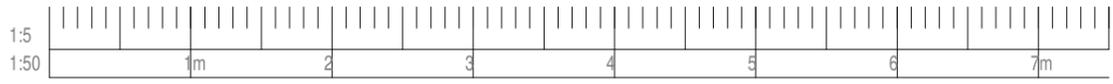
BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk



Back
1 : 100



Left
1 : 100



JOB No	DRAWING No	REVISION
20-014	1011	B
STATUS Planning		

○ BOWKER SADLER PARTNERSHIP LIMITED
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN
 ■ REPORT ERRORS & OMISSIONS TO ARCHITECT.
 ■ CHECK ALL DIMENSIONS ON SITE
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 1	2b4p	00 GF Level	39.8 m ²
Plot 1	2b4p	01 FF Level	39.8 m ²
			79.5 m ²
Plot 2	2b4p	00 GF Level	39.8 m ²
Plot 2	2b4p	01 FF Level	39.8 m ²
			79.5 m ²



Ground Floor
1 : 100



First Floor
1 : 100

REV.	DATE	DRN.	CHKD.
B	20/09/22	KS	MD
A	29/03/22	TM	MD

PROJECT
Ivy Road, Macclesfield

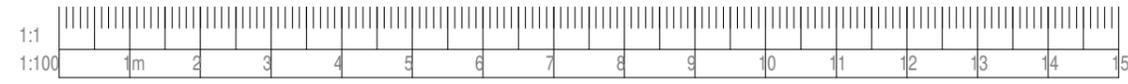
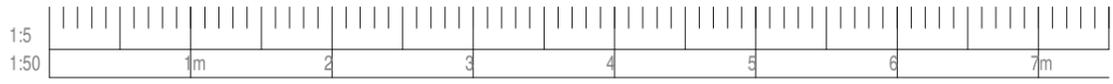
CLIENT
Peaks & Plains

DRAWING
Block 1 Floor Plans

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@A3	PC	MD	23/02/21

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

JOB No	DRAWING No	REVISION
20-014	1010	B
STATUS		
Planning		



○ BOWKER SADLER PARTNERSHIP LIMITED
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN
 ■ REPORT ERRORS & OMISSIONS TO ARCHITECT.
 ■ CHECK ALL DIMENSIONS ON SITE
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Material Schedule

Walls: red brick compatible with local vernacular
 Roofs: thin edge tile
 Projecting surrounds to doors/windows: Metal clad



Front
1 : 100



Right
1 : 100



Back
1 : 100

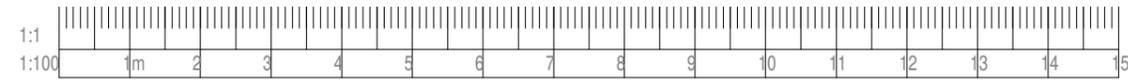
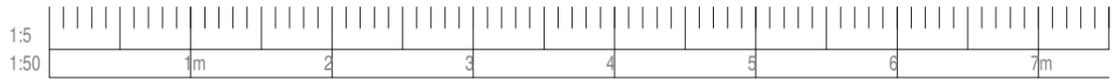


Left
1 : 100

REV.	DATE	DRN.	CHKD.
B	20/09/22	KS	Revision to accommodate planning comments
A	29/03/22	TM	Fenestration amendment

PROJECT	Ivy Road, Macclesfield			
CLIENT	Peaks & Plains			
DRAWING	Block 2 Elevations			
SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@A3	PC	MD	23/07/21

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk



JOB No	DRAWING No	REVISION
20-014	1016	B
STATUS		
Planning		

○ BOWKER SADLER PARTNERSHIP LIMITED
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN
 ■ REPORT ERRORS & OMISSIONS TO ARCHITECT.
 ■ CHECK ALL DIMENSIONS ON SITE
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 3	2b4p	00 GF Level	39.8 m ²
Plot 3	2b4p	01 FF Level	39.8 m ²
			79.5 m ²
Plot 4	2b4p	00 GF Level	39.8 m ²
Plot 4	2b4p	01 FF Level	39.8 m ²
			79.5 m ²



Ground Floor
1 : 100



First Floor
1 : 100

B 20/09/22 KS Revision to accommodate planning comments MD
 A 29/03/22 TM Fenestration amendment MD

REV.	DATE	DRN.	CHKD.
------	------	------	-------

PROJECT
Ivy Road, Macclesfield

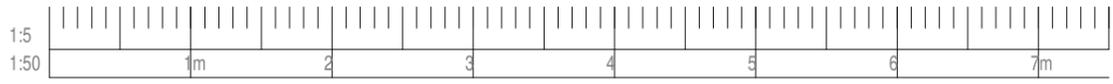
CLIENT
Peaks & Plains

DRAWING
Block 2 Floor Plans

SCALE 1 : 100	SHEET SIZE @A3	DRAWN PC	CHECKED MD	DATE 23/02/21
------------------	-------------------	-------------	---------------	------------------

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

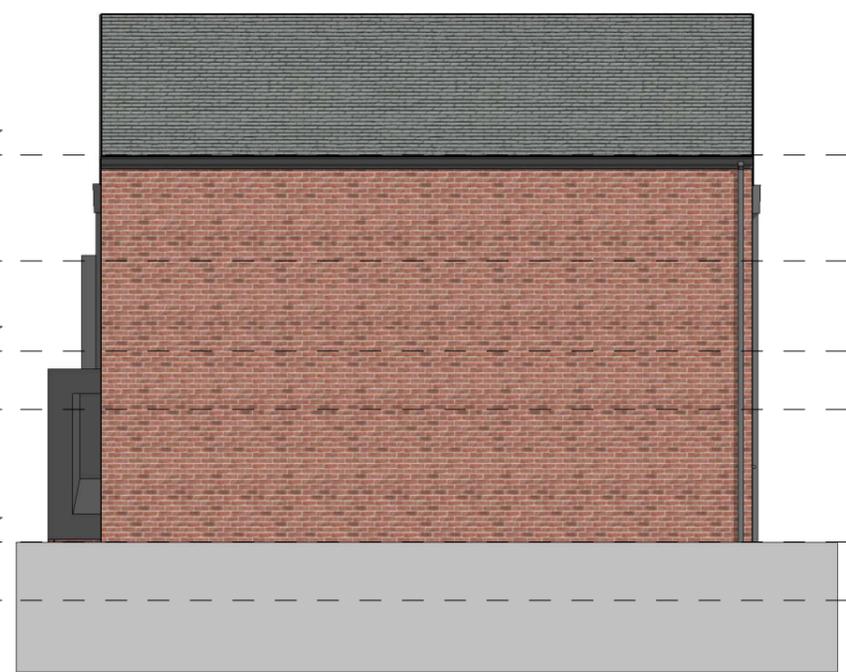
JOB No 20-014	DRAWING No 1015	REVISION B
STATUS Planning		



○ BOWKER SADLER PARTNERSHIP LIMITED
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN
 ■ REPORT ERRORS & OMISSIONS TO ARCHITECT.
 ■ CHECK ALL DIMENSIONS ON SITE
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS



Front
1 : 100



Right
1 : 100

Material Schedule

Walls: red brick compatible with local vernacular
 Roofs: thin edge tile
 Projecting surrounds to doors/windows: Metal clad

REV.	DATE	DRN.	CHKD.
B	20/09/22	KS	Revision to accommodate planning comments
A	29/03/22	TM	Fermentation amendments

REV.	DATE	DRN.	CHKD.
------	------	------	-------

PROJECT
Ivy Road, Macclesfield

CLIENT
Peaks & Plains

DRAWING
Block 3 Elevations

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@A3	PC	MD	23/07/21

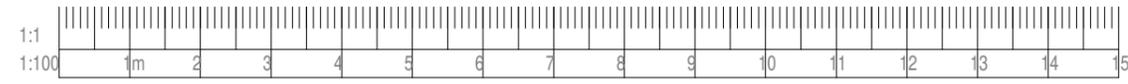
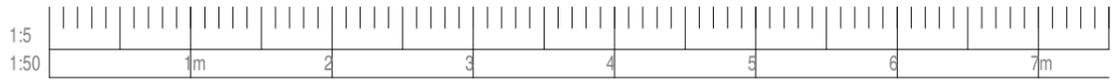
BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk



Back
1 : 100



Left
1 : 100



JOB No	DRAWING No	REVISION
20-014	1021	B
STATUS		
Planning		

○ BOWKER SADLER PARTNERSHIP LIMITED
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN
 ■ REPORT ERRORS & OMISSIONS TO ARCHITECT.
 ■ CHECK ALL DIMENSIONS ON SITE
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 5	2b4p	00 GF Level	39.8 m ²
Plot 5	2b4p	01 FF Level	39.8 m ²
			79.5 m ²
Plot 6	2b4p	00 GF Level	39.7 m ²
Plot 6	2b4p	01 FF Level	39.3 m ²
			79.0 m ²

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fenestration amendments	MD

REV.	DATE	DRN.	CHKD.
------	------	------	-------

PROJECT
Ivy Road, Macclesfield

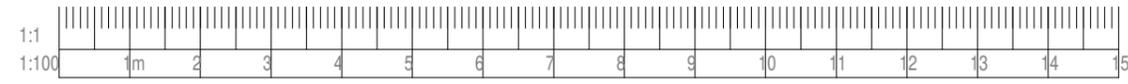
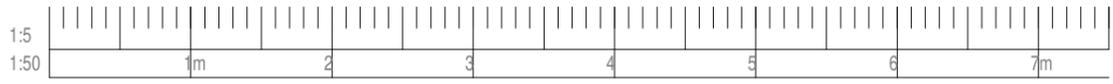
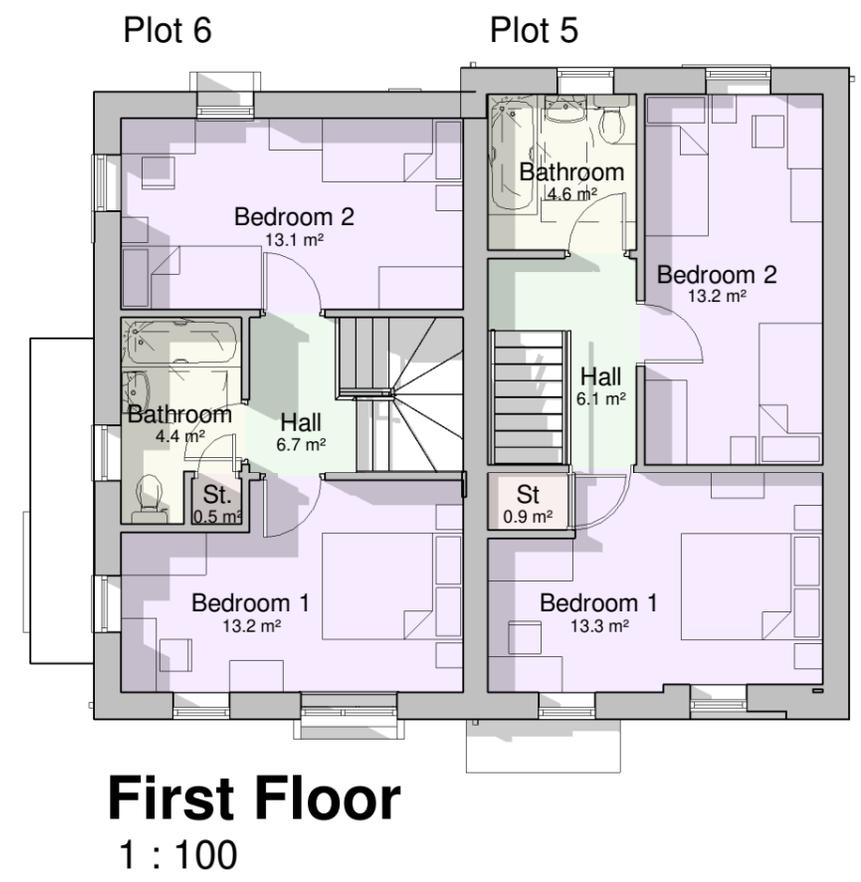
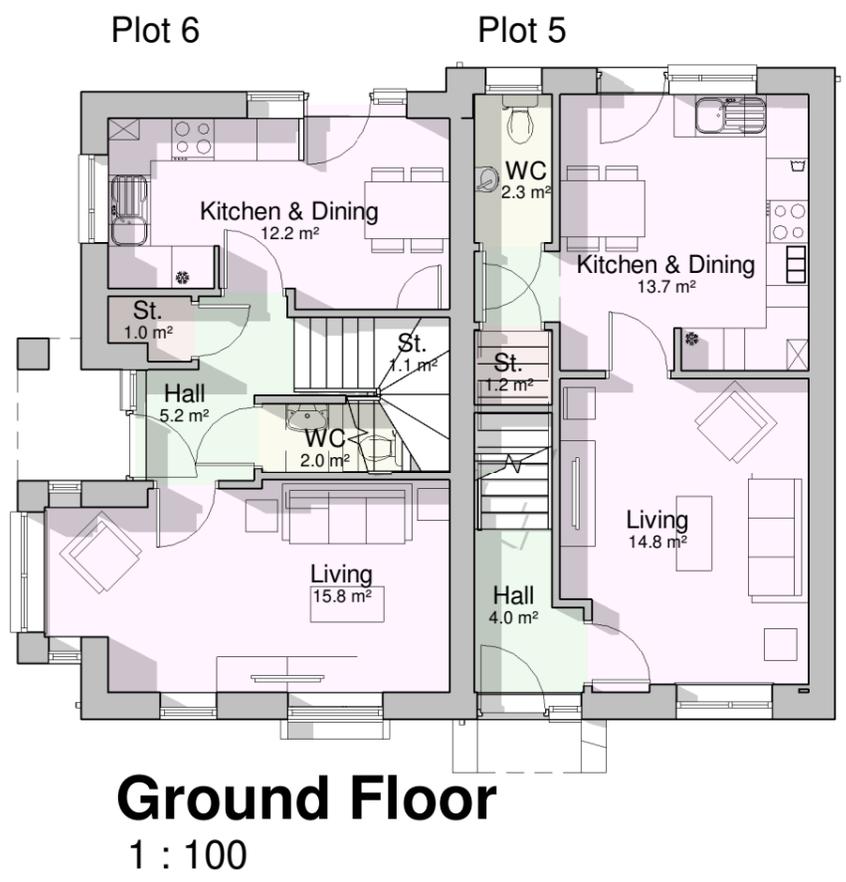
CLIENT
Peaks & Plains

DRAWING
Block 3 Floor Plans

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@A3	PC	MD	23/02/21

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

JOB No	DRAWING No	REVISION
20-014	1020	B
STATUS		Planning



○ BOWKER SADLER PARTNERSHIP LIMITED
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN

■ REPORT ERRORS & OMISSIONS TO ARCHITECT.
 ■ CHECK ALL DIMENSIONS ON SITE
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Material Schedule

Walls: red brick compatible with local vernacular
 Roofs: thin edge tile
 Projecting surrounds to doors/windows: Metal clad



Front
1 : 100



Right
1 : 100



Back
1 : 100



Left
1 : 100

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fenestration amendment	MD

REV.	DATE	DRN.	CHKD.
------	------	------	-------

PROJECT
Ivy Road, Macclesfield

CLIENT
Peaks & Plains

DRAWING
Block 4 Elevations

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@ A2	PC	MD	09/08/21

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

JOB No	DRAWING No	REVISION
20-014	1026	B

STATUS
Planning



BOWKER SADLER PARTNERSHIP LIMITED
 THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN
 REPORT ERRORS & OMISSIONS TO ARCHITECT.
 CHECK ALL DIMENSIONS ON SITE
 DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

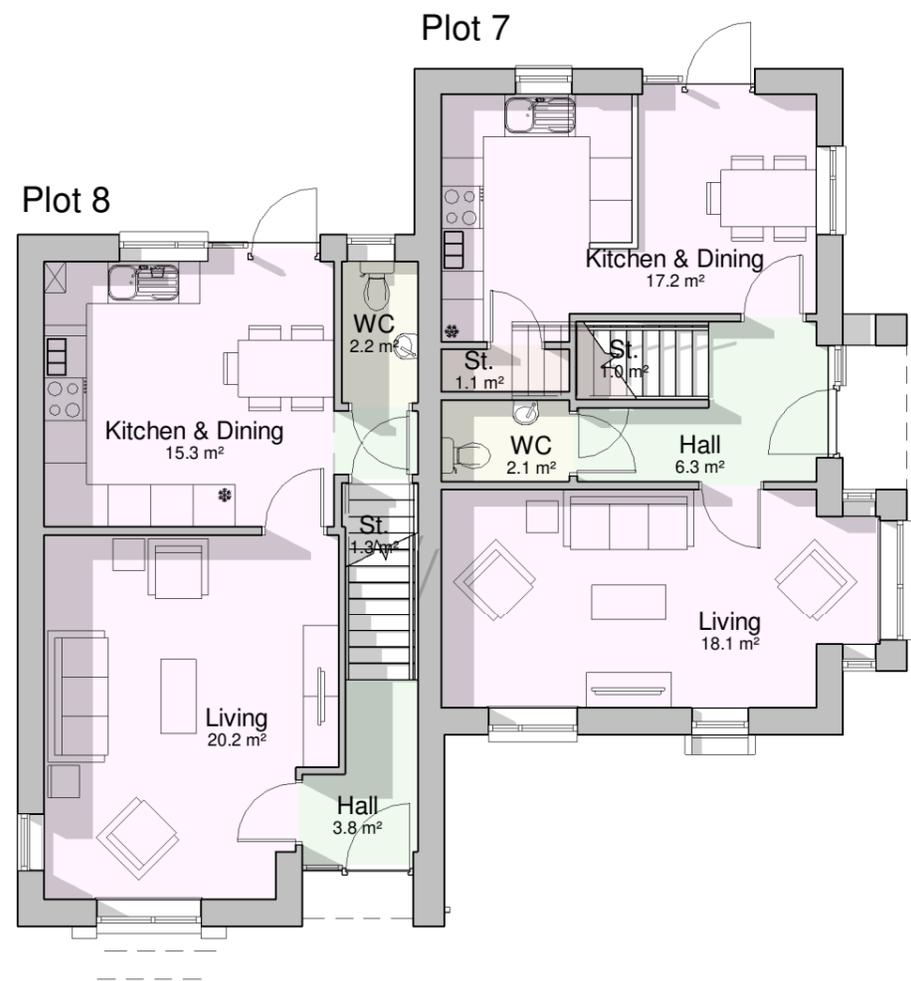
Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 7	3b5p	01 FF Level	46.1 m ²
Plot 7	3b5p	00 GF Level	47.8 m ²
			93.9 m ²
Plot 8	3b5p	01 FF Level	47.5 m ²
Plot 8	3b5p	00 GF Level	46.4 m ²
			94.0 m ²

REV.	DATE	DRN.	CHKD.	DESCRIPTION
B	20/09/22	KS		Revision to accommodate planning comments
A	29/03/22	TM		Fenestration amendment

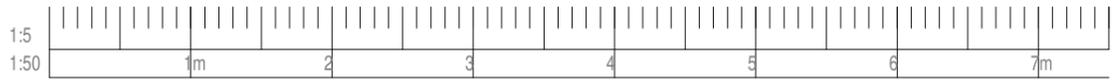
PROJECT	Ivy Road, Macclesfield
CLIENT	Peaks & Plains
DRAWING	Block 4 Floor Plans
SCALE	1 : 100
SHEET SIZE	@A3
DRAWN	PC
CHECKED	MD
DATE	

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

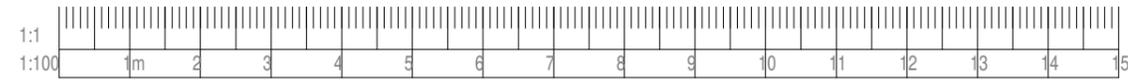
JOB No	DRAWING No	REVISION
20-014	1025	B
STATUS		
Planning		



Ground Floor
 1 : 100



First Floor
 1 : 100



○ BOWKER SADLER PARTNERSHIP LIMITED
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN
 ■ REPORT ERRORS & OMISSIONS TO ARCHITECT.
 ■ CHECK ALL DIMENSIONS ON SITE
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Material Schedule

Walls: red brick compatible with local vernacular
 Roofs: thin edge tile
 Projecting surrounds to doors/windows: Metal clad



Front
1 : 100



Right
1 : 100



Back
1 : 100

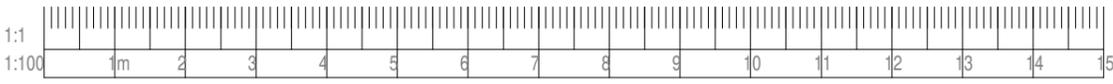
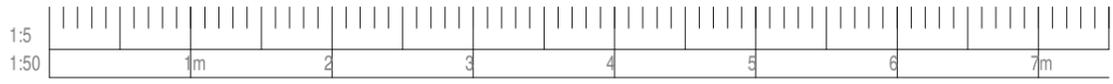


Left
1 : 100

REV.	DATE	DRN.	CHKD.
B	20/09/22	KS	Revision to accommodate planning comments
A	29/03/22	TM	Fenestration amendments

PROJECT	Ivy Road, Macclesfield
CLIENT	Peaks & Plains
DRAWING	Block 5 Elevations
SCALE	1 : 100
SHEET SIZE	@A3
DRAWN	PC
CHECKED	MD
DATE	09/08/21

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk



JOB No	20-014	DRAWING No	1031	REVISION	B
STATUS					
Planning					

BOWKER SADLER PARTNERSHIP LIMITED
 THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN
 REPORT ERRORS & OMISSIONS TO ARCHITECT.
 CHECK ALL DIMENSIONS ON SITE
 DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 9	3b5p	01 FF Level	48.0 m ²
Plot 9	3b5p	00 GF Level	46.4 m ²
			94.4 m ²
Plot 10	3b5p	01 FF Level	47.6 m ²
Plot 10	3b5p	00 GF Level	46.4 m ²
			94.0 m ²

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fenestration amendments	MD

REV.	DATE	DRN.	CHKD.
------	------	------	-------

PROJECT
Ivy Road, Macclesfield

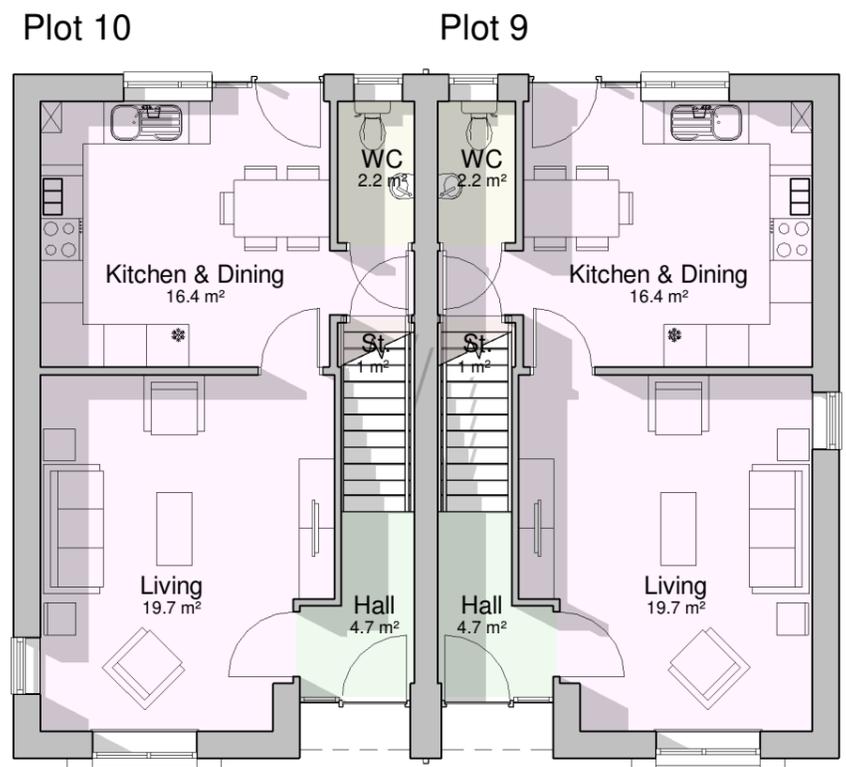
CLIENT
Peaks & Plains

DRAWING
Block 5 Floor Plans

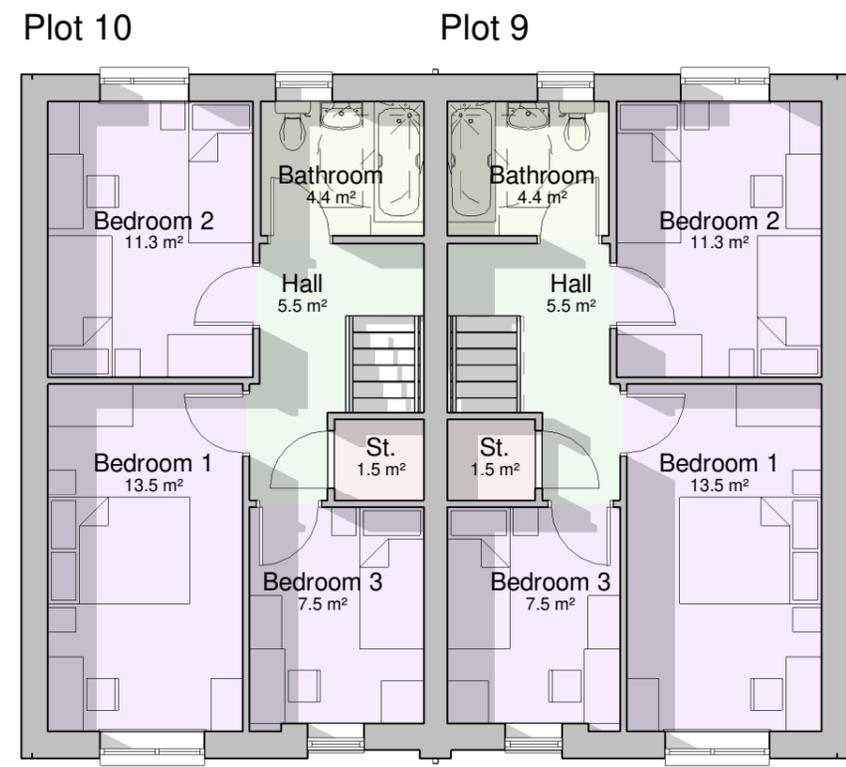
SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@A3	PC	MD	09/08/21

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

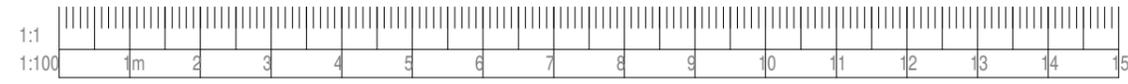
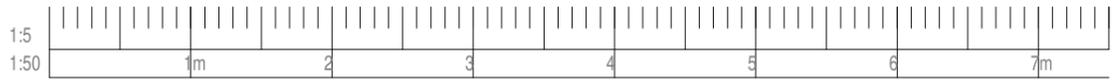
JOB No	DRAWING No	REVISION
20-014	1030	B
STATUS		
Planning		



Ground Floor
 1 : 100



First Floor
 1 : 100



○ BOWKER SADLER PARTNERSHIP LIMITED
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN

■ REPORT ERRORS & OMISSIONS TO ARCHITECT.
 ■ CHECK ALL DIMENSIONS ON SITE
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Material Schedule

Walls: red brick compatible with local vernacular
 Roofs: thin edge tile
 Projecting surrounds to doors/windows: Metal clad



Front
1 : 100



Right
1 : 100



Back
1 : 100



Left
1 : 100

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fenestration amendment	MD

REV.	DATE	DRN.	CHKD.
------	------	------	-------

PROJECT
Ivy Road, Macclesfield

CLIENT
Peaks & Plains

DRAWING
Block 6 Elevations

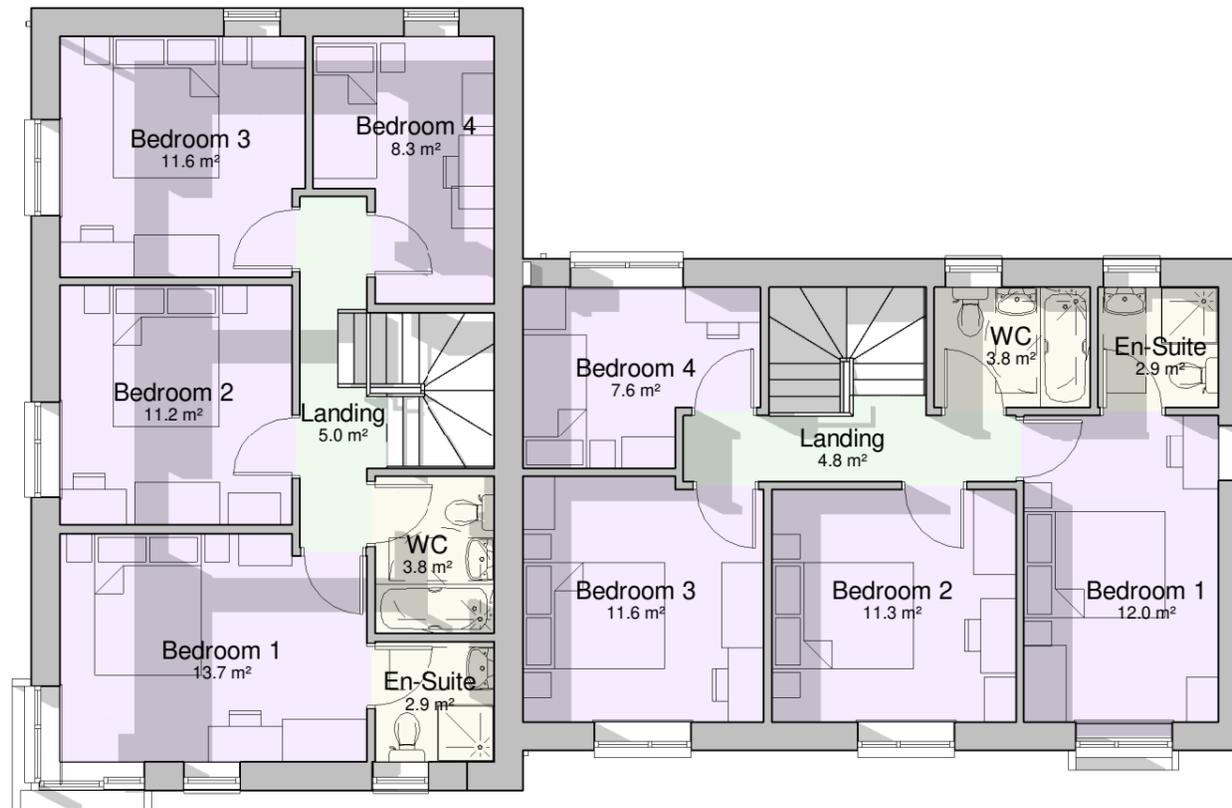
SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@ A2	PC	MD	10/08/21

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

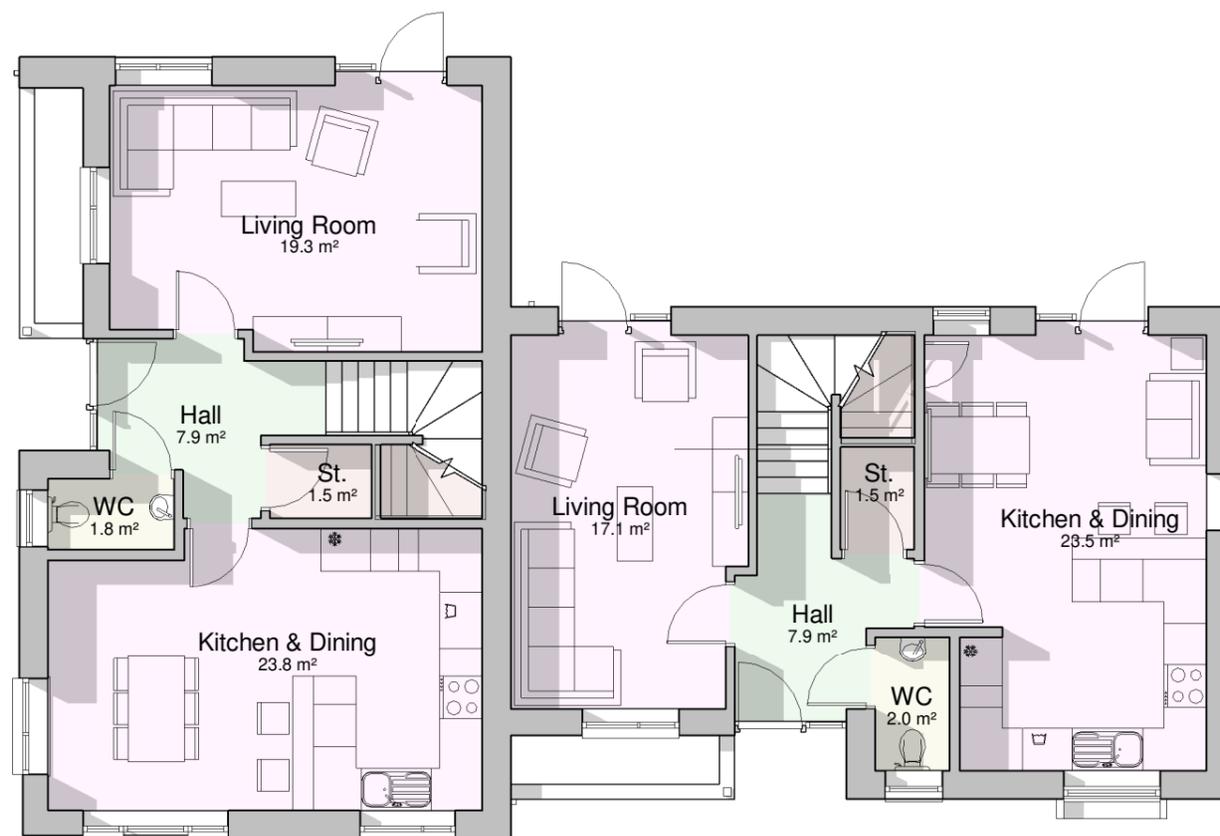
JOB No	DRAWING No	REVISION
20-014	1036	B

STATUS
Planning





First Floor
1 : 100



Ground Floor
1 : 100

○ BOWKER SADLER PARTNERSHIP LIMITED
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN
 ■ REPORT ERRORS & OMISSIONS TO ARCHITECT.
 ■ CHECK ALL DIMENSIONS ON SITE
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 11	4b7p	01 FF Level	60.6 m ²
Plot 11	4b7p	00 GF Level	56.1 m ²
			116.7 m ²
Plot 12	4b7p	01 FF Level	63.2 m ²
Plot 12	4b7p	00 GF Level	58.4 m ²
			121.6 m ²

B 20/09/22 KS Revision to accommodate planning comments MD
 A 29/03/22 TM Fenestration amendment MD

REV.	DATE	DRN.	CHKD.
------	------	------	-------

PROJECT
Ivy Road, Macclesfield

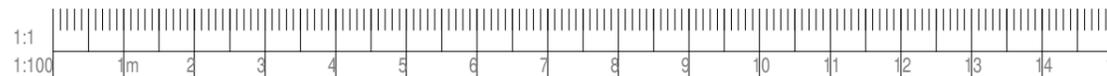
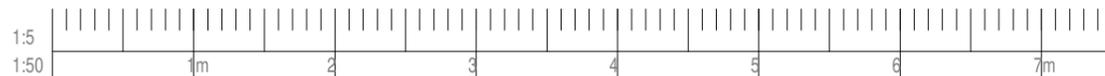
CLIENT
Peaks & Plains

DRAWING
Block 6 Floor Plans

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@A3	PC	MD	10/08/21

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

JOB No	DRAWING No	REVISION
20-014	1035	B
STATUS		Planning



○ BOWKER SADLER PARTNERSHIP LIMITED
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN

■ REPORT ERRORS & OMISSIONS TO ARCHITECT.
 ■ CHECK ALL DIMENSIONS ON SITE
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Material Schedule

Walls: buff/pink brick compatible with local vernacular
 Roofs: thin edge tile
 Projecting surrounds to doors/windows: Metal clad
 Obs. - Obscured Glazing



Front
1 : 100



Right
1 : 100



Back
1 : 100



Left
1 : 100

A 29/03/22 TM Fenestration amendment MD

REV.	DATE	DRN.	CHKD.

PROJECT
Ivy Road, Macclesfield

CLIENT
Peaks & Plains

DRAWING
Block 7 Elevations

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@ A2	PC	MD	02/08/21

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

JOB No	DRAWING No	REVISION
20-014	1041	A

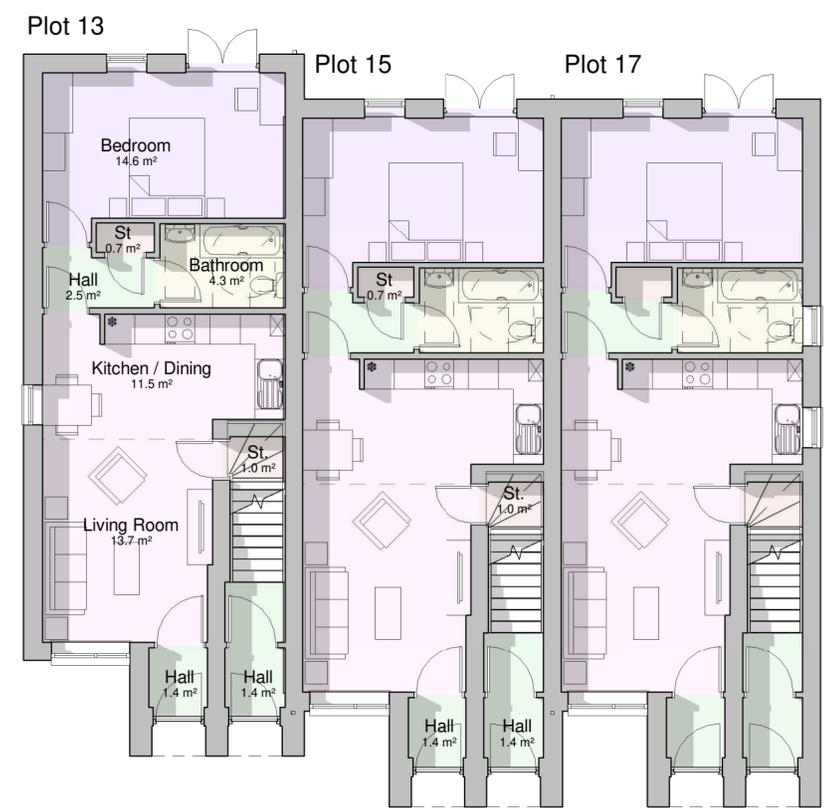
STATUS
Planning



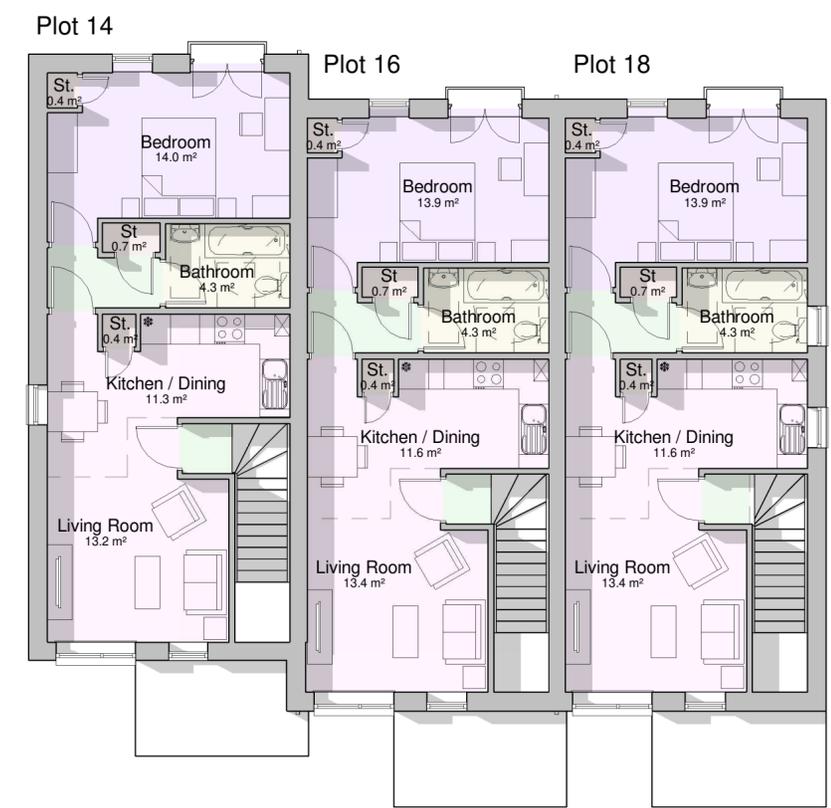
○ BOWKER SADLER PARTNERSHIP LIMITED
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN

■ REPORT ERRORS & OMISSIONS TO ARCHITECT.
 ■ CHECK ALL DIMENSIONS ON SITE
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 13	1b2b	00 GF Level	51.6 m ²
			51.6 m ²
Plot 14	1b2b	01 FF Level	55.3 m ²
		00 GF Level	3.0 m ²
			58.3 m ²
Plot 15	1b2b	00 GF Level	51.6 m ²
			51.6 m ²
Plot 16	1b2b	01 FF Level	55.5 m ²
		00 GF Level	3.0 m ²
			58.5 m ²
Plot 17	1b2b	00 GF Level	51.5 m ²
			51.5 m ²
Plot 18	1b2b	01 FF Level	50.0 m ²
		00 GF Level	3.0 m ²
			53.0 m ²



Ground Floor
1 : 100



First Floor
1 : 100

A	29/03/22	TM	Fenestration amendment	MD
REV.	DATE	DRN.		CHKD.

PROJECT
Ivy Road, Macclesfield

CLIENT
Peaks & Plains

DRAWING
Block 7 Floor Plans

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@ A2	PC	MD	08/08/21

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

JOB No	DRAWING No	REVISION
20-014	1040	A
STATUS		
Planning		



○ BOWKER SADLER PARTNERSHIP LIMITED
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN
 ■ REPORT ERRORS & OMISSIONS TO ARCHITECT.
 ■ CHECK ALL DIMENSIONS ON SITE
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Material Schedule
 Walls: red brick compatible with local vernacular
 Roofs: thin edge tile
 Projecting surrounds to doors/windows: Metal clad



Front
 1 : 100



Right
 1 : 100



Back
 1 : 100



Left
 1 : 100

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fenestration amancements	MD

REV.	DATE	DRN.	CHKD.
------	------	------	-------

PROJECT
Ivy Road, Macclesfield

CLIENT
Peaks & Plains

DRAWING
Block 8 Elevations

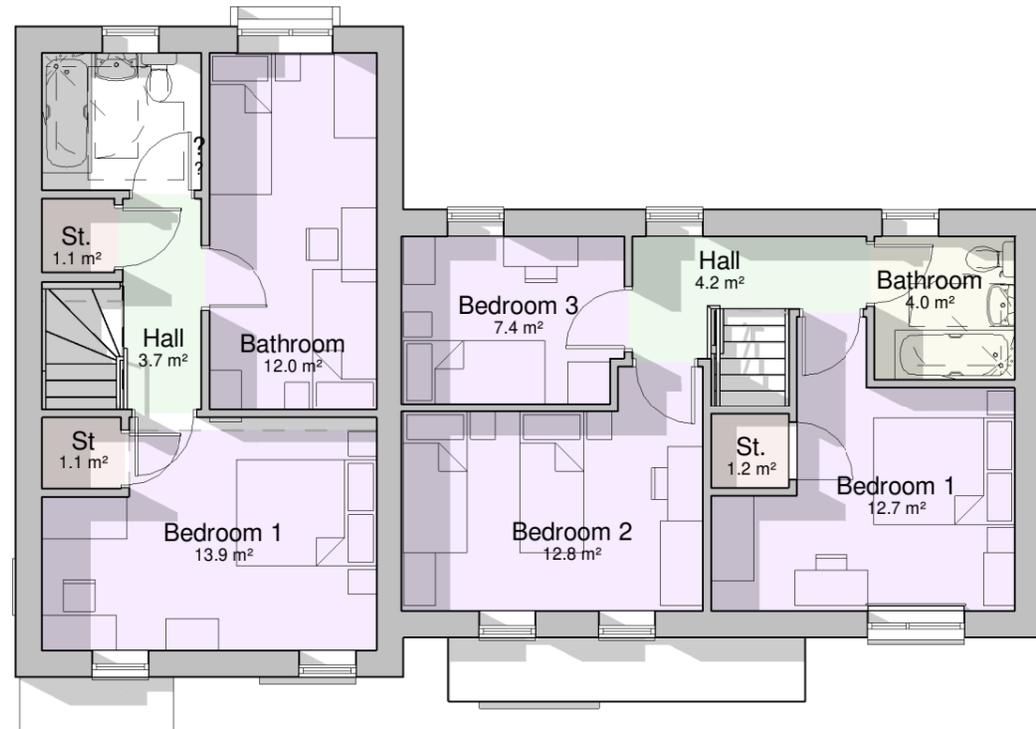
SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@ A2	PC	MD	23/07/21

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

JOB No	DRAWING No	REVISION
20-014	1046	B

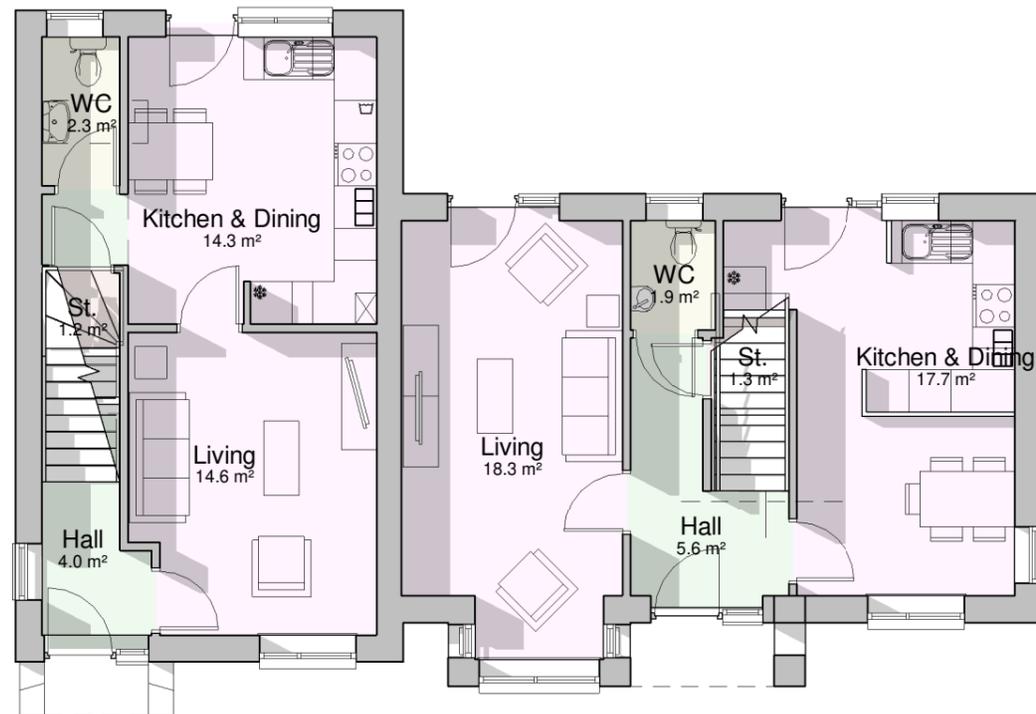
STATUS
Planning





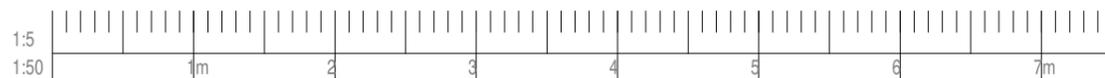
First Floor

1 : 100



Ground Floor

1 : 100



BOWKER SADLER PARTNERSHIP LIMITED
 THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN
 REPORT ERRORS & OMISSIONS TO ARCHITECT.
 CHECK ALL DIMENSIONS ON SITE
 DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 19	3b5p	00 GF Level	40.1 m ²
Plot 19	3b5p	01 FF Level	40.1 m ²
			80.3 m ²
Plot 20	2b4p	00 GF Level	47.8 m ²
Plot 20	2b4p	01 FF Level	46.1 m ²
			93.9 m ²

REV.	DATE	DRN.	CHKD.
B	20/09/22	KS	MD
A	29/03/22	TM	MD

PROJECT	Ivy Road, Macclesfield
CLIENT	Peaks & Plains
DRAWING	Block 8 Floor Plans
SCALE	1 : 100
SHEET SIZE	@A3
DRAWN	PC
CHECKED	MD
DATE	03/08/21

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

JOB No	DRAWING No	REVISION
20-014	1045	B
STATUS		
Planning		

○ BOWKER SADLER PARTNERSHIP LIMITED
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN
 ■ REPORT ERRORS & OMISSIONS TO ARCHITECT.
 ■ CHECK ALL DIMENSIONS ON SITE
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Material Schedule
 Walls: red brick compatible with local vernacular
 Roofs: thin edge tile
 Projecting surrounds to doors/windows: Metal clad



Front
 1 : 100



Right
 1 : 100



Back
 1 : 100



Left
 1 : 100

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fenestration amendment	MD

REV.	DATE	DRN.	CHKD.
------	------	------	-------

PROJECT
Ivy Road, Macclesfield

CLIENT
Peaks & Plains

DRAWING
Block 9 Elevations

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@ A2	PC	MD	23/07/21

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

JOB No	DRAWING No	REVISION
20-014	1051	B

STATUS
Planning

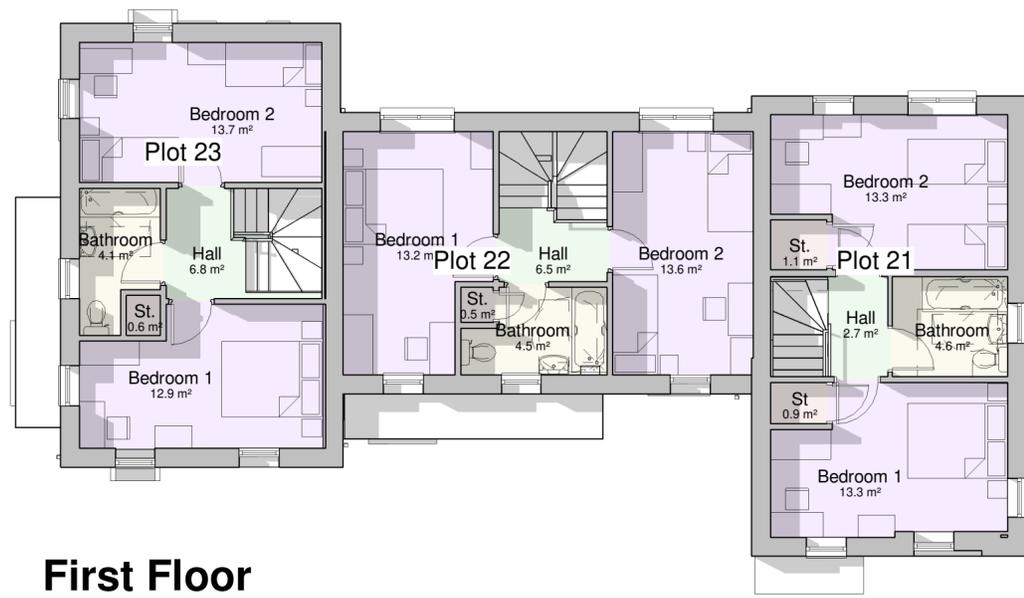


○ BOWKER SADLER PARTNERSHIP LIMITED
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN
 ■ REPORT ERRORS & OMISSIONS TO ARCHITECT.
 ■ CHECK ALL DIMENSIONS ON SITE
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 21	2b4p	00 GF Level	39.8 m ²
Plot 21	2b4p	01 FF Level	39.9 m ²
			79.7 m ²
Plot 22	2b4p	00 GF Level	40.4 m ²
Plot 22	2b4p	01 FF Level	39.9 m ²
			80.2 m ²
Plot 23	2b4p	00 GF Level	40.0 m ²
Plot 23	2b4p	01 FF Level	39.7 m ²
			79.7 m ²



Ground Floor
1 : 100



First Floor
1 : 100

B 20/09/22 KS Revision to accommodate planning comments MD
 A 29/03/22 TM Fenestration amendment MD

REV.	DATE	DRN.	CHKD.

PROJECT
Ivy Road, Macclesfield

CLIENT
Peaks & Plains

DRAWING
Block 9 Floor Plans

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@ A2	PC	MD	03/08/21

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

JOB No	DRAWING No	REVISION
20-014	1050	B

STATUS **Planning**



BOWKER SADLER PARTNERSHIP LIMITED
 THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN
 REPORT ERRORS & OMISSIONS TO ARCHITECT.
 CHECK ALL DIMENSIONS ON SITE
 DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Material Schedule

Walls: buff/pink brick compatible with local vernacular
 Roofs: thin edge tile
 Projecting surrounds to doors/windows:
 Metal clad



Front
1 : 100



Right
1 : 100



Back
1 : 100



Left
1 : 100

A 29/03/22 TM Fenestration amendments MD

REV.	DATE	DRN.	CHKD.
------	------	------	-------

PROJECT
Ivy Road, Macclesfield

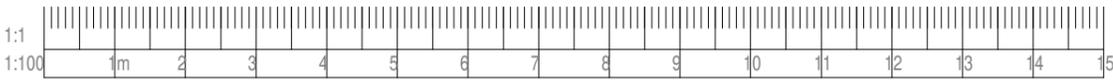
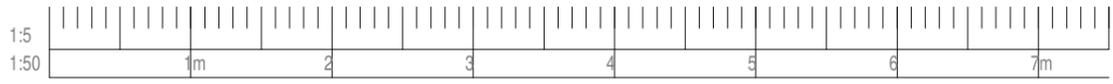
CLIENT
Peaks & Plains

DRAWING
Block 10 Elevations

SCALE 1 : 100	SHEET SIZE @A3	DRAWN PC	CHECKED MD	DATE 13/08/21
------------------	-------------------	-------------	---------------	------------------

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

JOB No 20-014	DRAWING No 1056	REVISION A
STATUS Planning		

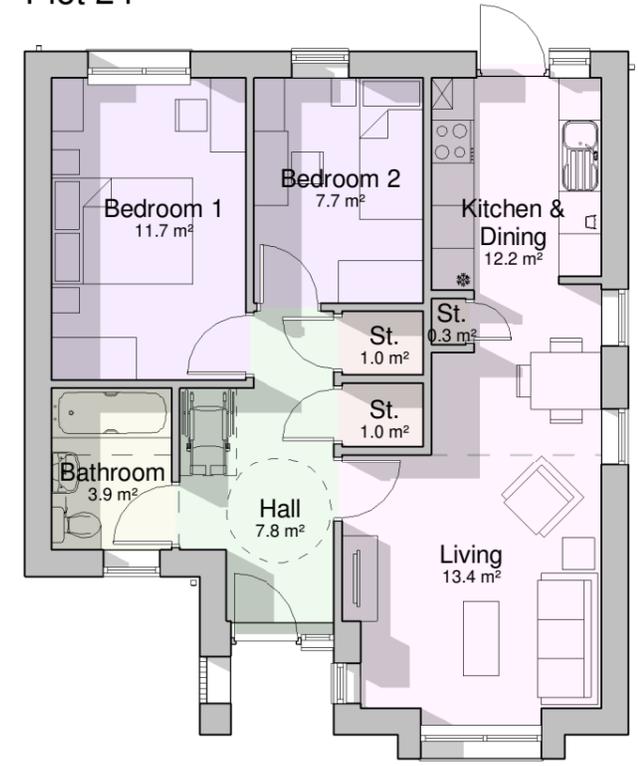


○ BOWKER SADLER PARTNERSHIP LIMITED
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN
 ■ REPORT ERRORS & OMISSIONS TO ARCHITECT.
 ■ CHECK ALL DIMENSIONS ON SITE
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Area Schedule (GIA)

Block Number	House Type	Level	Area
Plot 24	2b3p	00 GF Level	62.1 m ²
			62.1 m ²

Plot 24



Ground Floor
1 : 100

REV.	DATE	DRN.	CHKD.
------	------	------	-------

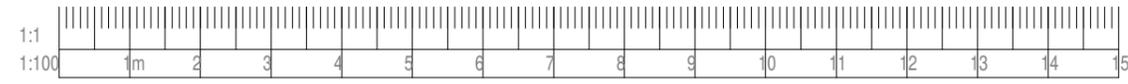
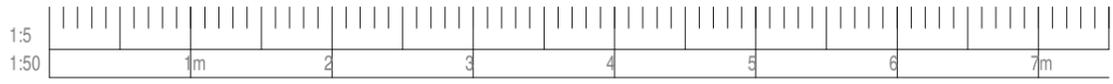
PROJECT
Ivy Road, Macclesfield

CLIENT
Peaks & Plains

DRAWING
Block 10 Floor Plans

SCALE 1 : 100	SHEET SIZE @A3	DRAWN PC	CHECKED MD	DATE 13/08/21
------------------	-------------------	-------------	---------------	------------------

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk



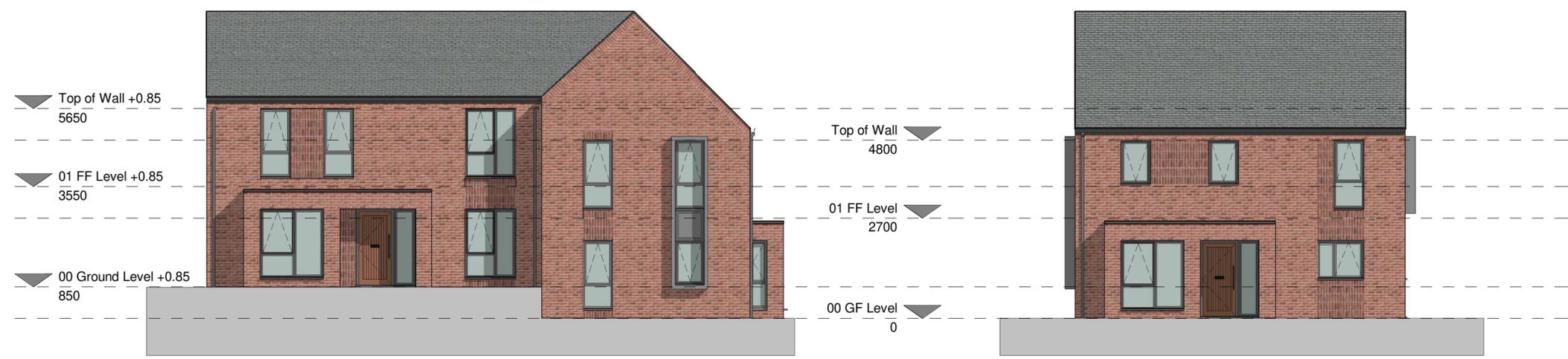
JOB No 20-014	DRAWING No 1055	REVISION
STATUS Planning		

○ BOWKER SADLER PARTNERSHIP LIMITED
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN

■ REPORT ERRORS & OMISSIONS TO ARCHITECT.
 ■ CHECK ALL DIMENSIONS ON SITE
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Material Schedule

Walls: red brick compatible with local vernacular
 Roofs: thin edge tile
 Projecting surrounds to doors/windows: Metal clad



Front
1 : 100

Right
1 : 100



Back
1 : 100

Left
1 : 100

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fenestration amendments	MD

REV.	DATE	DRN.	CHKD.
------	------	------	-------

PROJECT
Ivy Road, Macclesfield

CLIENT
Peaks & Plains

DRAWING
Block 11 Elevations

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@ A2	PC	MD	12/08/21

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

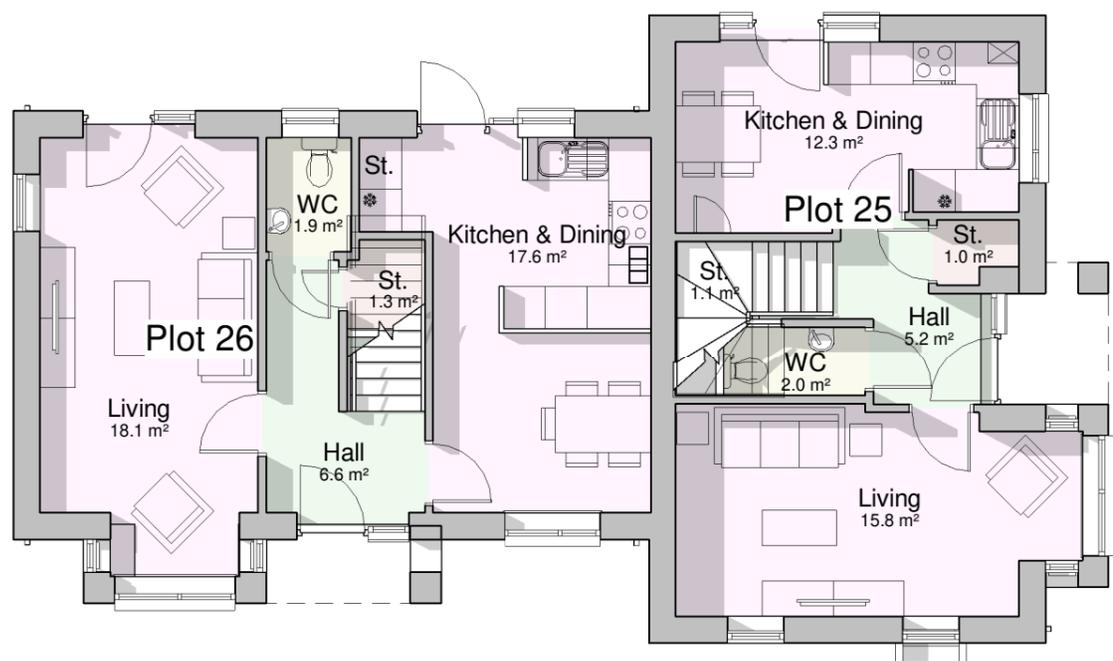
JOB No	DRAWING No	REVISION
20-014	1061	B

STATUS
Planning

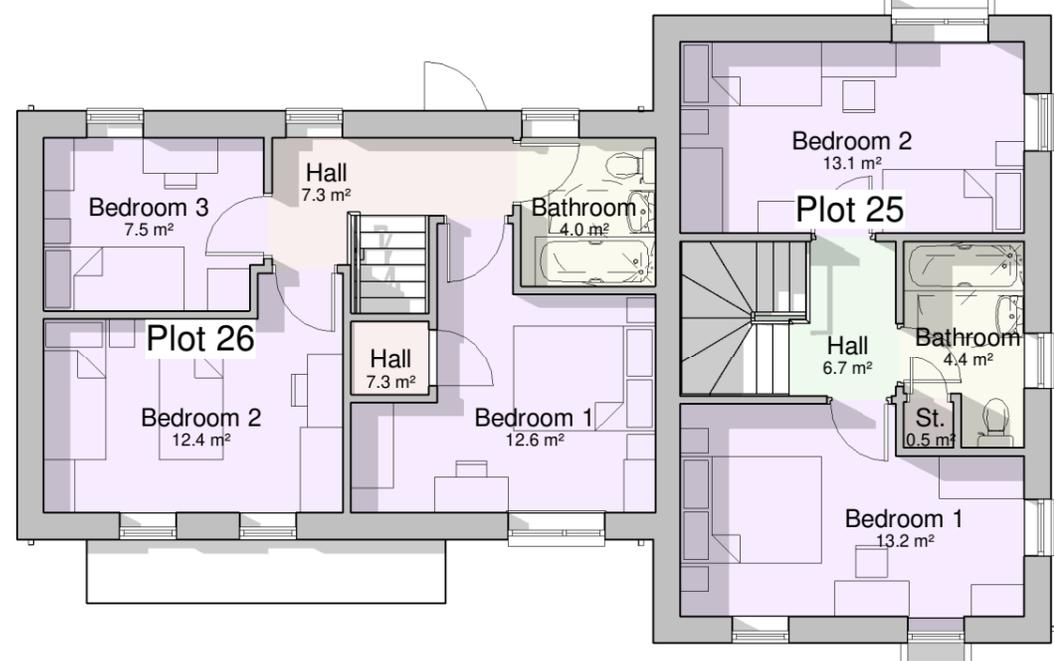


BOWKER SADLER PARTNERSHIP LIMITED
 THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN
 REPORT ERRORS & OMISSIONS TO ARCHITECT.
 CHECK ALL DIMENSIONS ON SITE
 DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 25	2b4p	00 GF Level	39.8 m ²
Plot 25	2b4p	01 FF Level	39.3 m ²
			79.1 m ²
Plot 26	2b4p	00 GF Level	47.6 m ²
Plot 26	2b4p	01 FF Level	45.9 m ²
			93.5 m ²



Ground Floor
1 : 100



First Floor
1 : 100

REV.	DATE	DRN.	CHKD.	
B	20/09/22	KS		Revision to accommodate planning comments MD
A	29/03/22	TM		Fenestration amendments MD

PROJECT
Ivy Road, Macclesfield

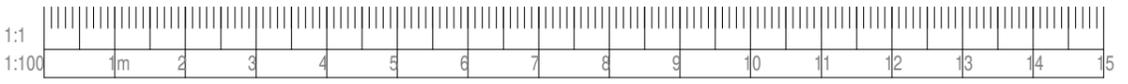
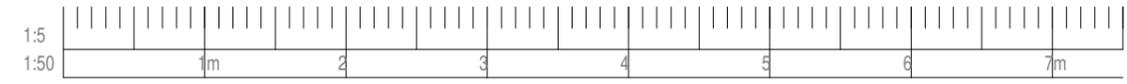
CLIENT
Peaks & Plains

DRAWING
Block 11 Floor Plans

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@A3	PC	MD	12/08/21

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

JOB No	DRAWING No	REVISION
20-014	1060	B
STATUS Planning		



○ BOWKER SADLER PARTNERSHIP LIMITED
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN

■ REPORT ERRORS & OMISSIONS TO ARCHITECT.
 ■ CHECK ALL DIMENSIONS ON SITE
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Material Schedule

Walls: buff/pink brick compatible with local vernacular
 Roofs: thin edge tile
 Projecting surrounds to doors/windows: Metal clad



Front
1 : 100



Right
1 : 100



Back
1 : 100



Left
1 : 100

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03	TM	Fenestration amendment	MD

REV.	DATE	DRN.	CHKD.
------	------	------	-------

PROJECT
Ivy Road, Macclesfield

CLIENT
Peaks & Plains

DRAWING
Block 12 Elevations

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@ A2	PC	MD	12/08/21

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

JOB No 20-014	DRAWING No 1066	REVISION B
-------------------------	---------------------------	----------------------

STATUS
Planning



○ BOWKER SADLER PARTNERSHIP LIMITED
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN
 ■ REPORT ERRORS & OMISSIONS TO ARCHITECT.
 ■ CHECK ALL DIMENSIONS ON SITE
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

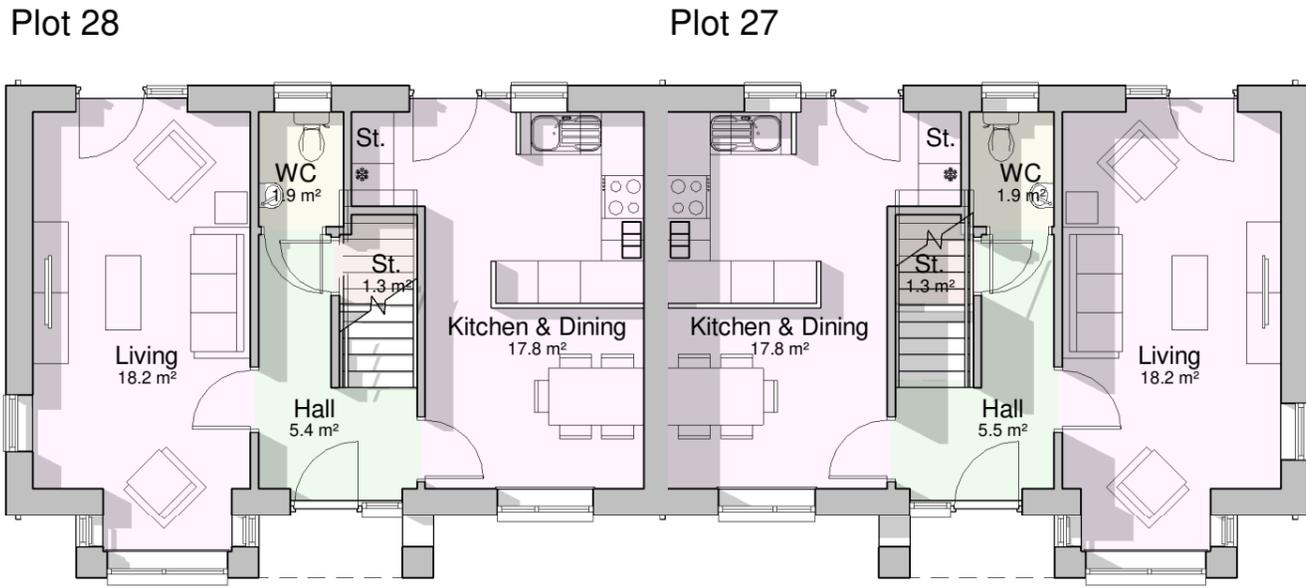


Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 27	2b4p	00 GF Level	47.7 m ²
Plot 27	2b4p	01 FF Level	45.9 m ²
			93.6 m ²
Plot 28	2b4p	00 GF Level	47.7 m ²
Plot 28	2b4p	01 FF Level	46.0 m ²
			93.7 m ²

First Floor
1 : 100

B 20/09/22 KS Revision to accommodate planning comments MD
 A 29/03 TM Fenestration amangement MD

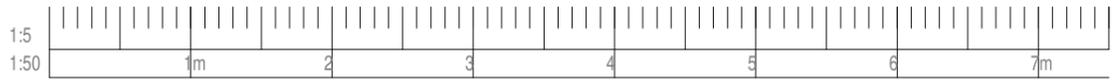
REV.	DATE	DRN.	CHKD.
------	------	------	-------



PROJECT			
Ivy Road, Macclesfield			
CLIENT			
Peaks & Plains			
DRAWING			
Block 12 Floor Plans			
SCALE	SHEET SIZE	DRAWN	CHECKED
1 : 100	@A3	PC	MD
DATE		12/08/21	

Ground Floor
1 : 100

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk



JOB No	DRAWING No	REVISION
20-014	1065	B
STATUS		Planning

BOWKER SADLER PARTNERSHIP LIMITED
 THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN
 REPORT ERRORS & OMISSIONS TO ARCHITECT.
 CHECK ALL DIMENSIONS ON SITE
 DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Material Schedule

Walls: buff/pink brick compatible with local vernacular
 Roofs: thin edge tile
 Projecting surrounds to doors/windows: Metal clad



Front
1 : 100



Right
1 : 100



Back
1 : 100



Left
1 : 100

A 29/03/22 TM Fenestration amendment MD

REV.	DATE	DRN.	CHKD.

PROJECT
Ivy Road, Macclesfield

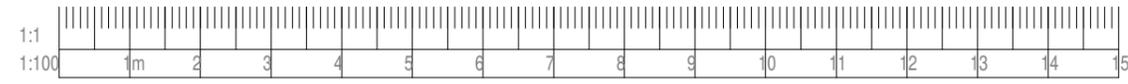
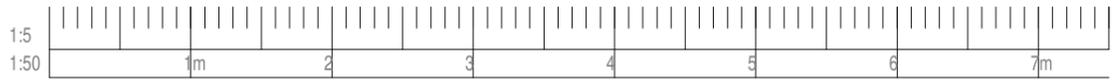
CLIENT
Peaks & Plains

DRAWING
Block 13 Elevations

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@A3	PC	MD	16/08/21

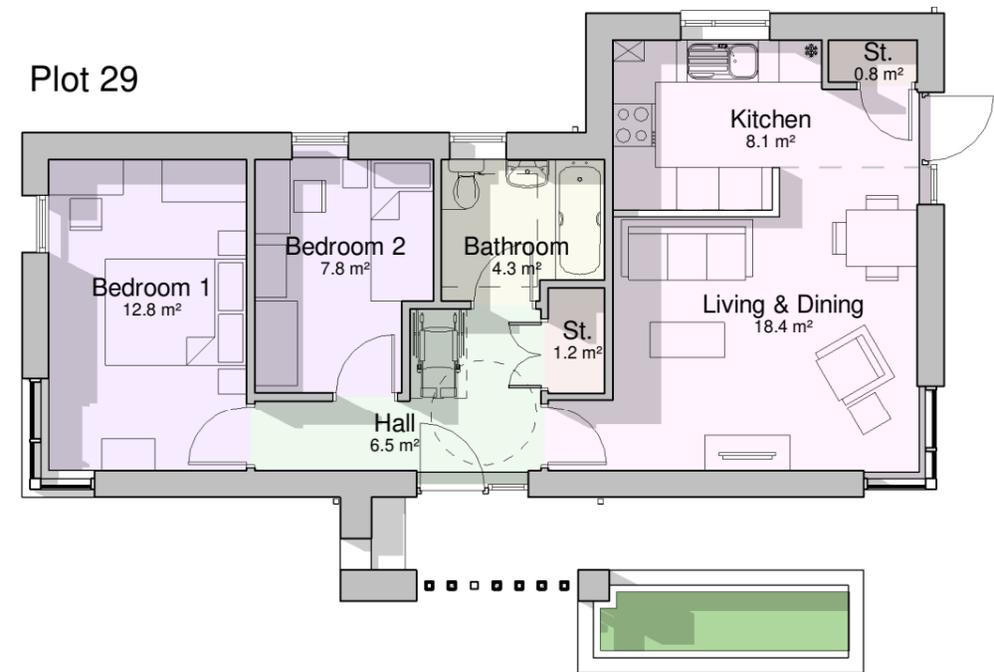
BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

JOB No	DRAWING No	REVISION
20-014	1071	A
STATUS		
Planning		



○ BOWKER SADLER PARTNERSHIP LIMITED
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN
 ■ REPORT ERRORS & OMISSIONS TO ARCHITECT.
 ■ CHECK ALL DIMENSIONS ON SITE
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

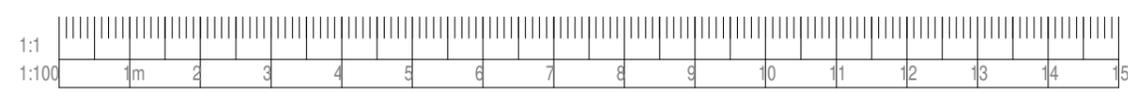
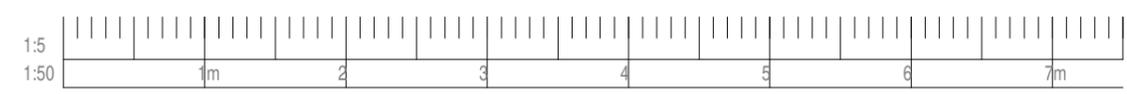
Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 29	2b3p	00 GF Level	61.4 m ²
			61.4 m ²



Ground Floor
 1 : 100

REV.	DATE	DRN.	CHKD.
PROJECT Ivy Road, Macclesfield			
CLIENT Peaks & Plains			
DRAWING Block 13 Floor Plans			
SCALE 1 : 100	SHEET SIZE @ A3	DRAWN PC	CHECKED MD
DATE 16/08/20			

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY
 T: 0161 406 7333
 E: office@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk



JOB No	DRAWING No	REVISION
20-014	1070	
STATUS		Planning