

23/0727N

LAND ADJACENT TO 179,  
ALTON STREET,  
CREWE



355400m

355300m

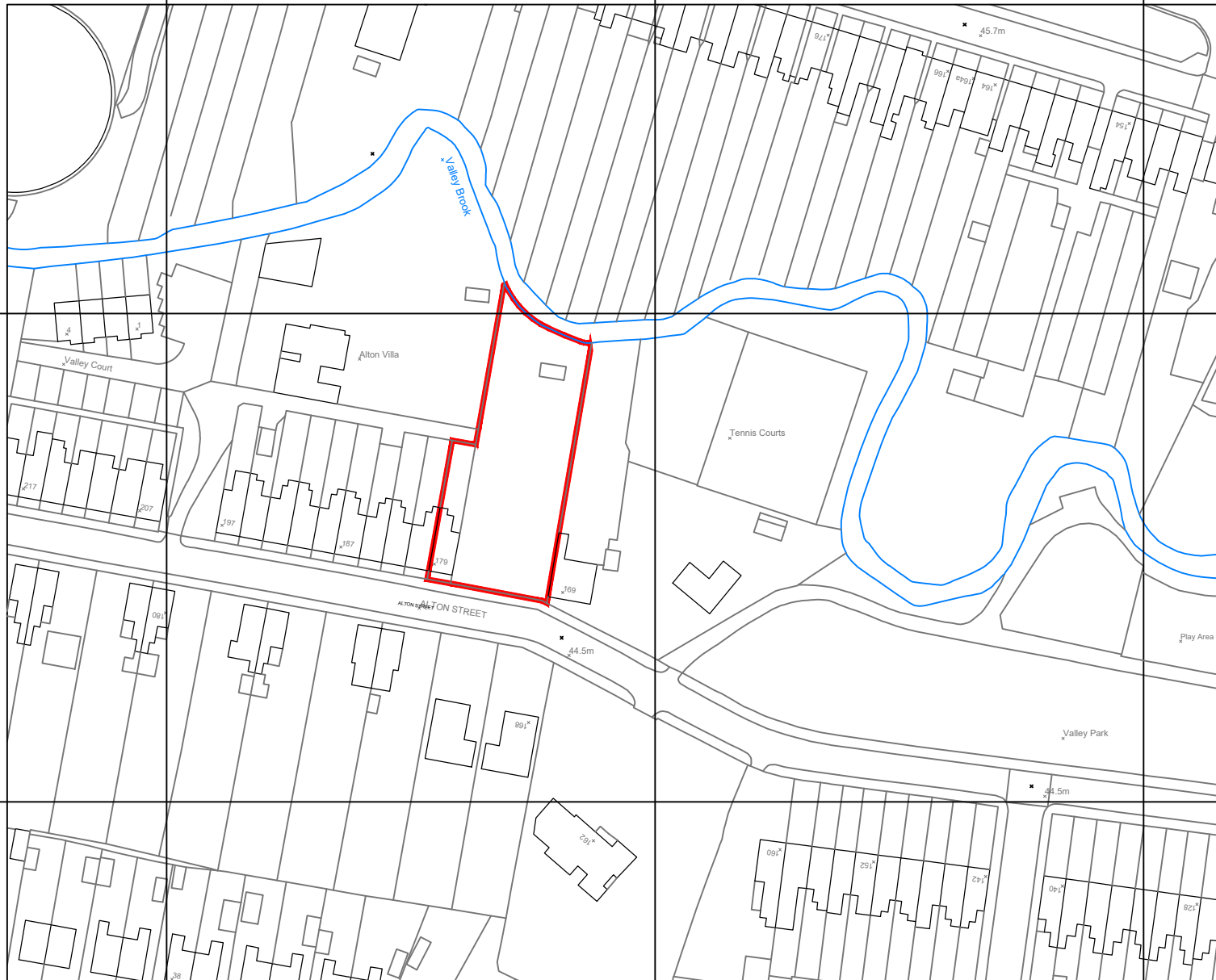
369700m

369800m

369900m

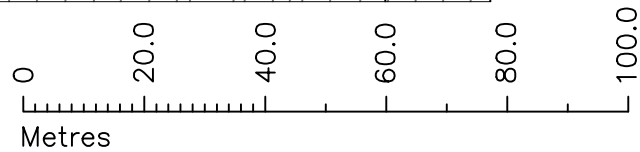
355400m

355300m



369700m

369800m



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A 28/09/2018 Drawn: CDR Check: -  
Revised following scheme change.

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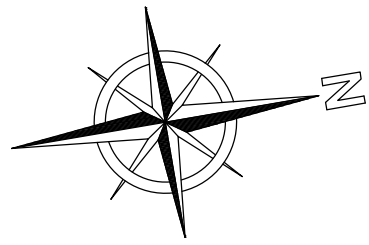
DRAWN: CDR CHECK: -

PROJECT  
Residential Development,  
Alton Street,  
Crewe, CW2 7RS  
DRAWING

OS Location Plan

SCALE DATE  
1:1250 @ A4 17/07/2018

REF	NUMBER	REV
1261	11	A



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A 16/08/2018 Drawn: CDR Check: -  
Existing levels added.



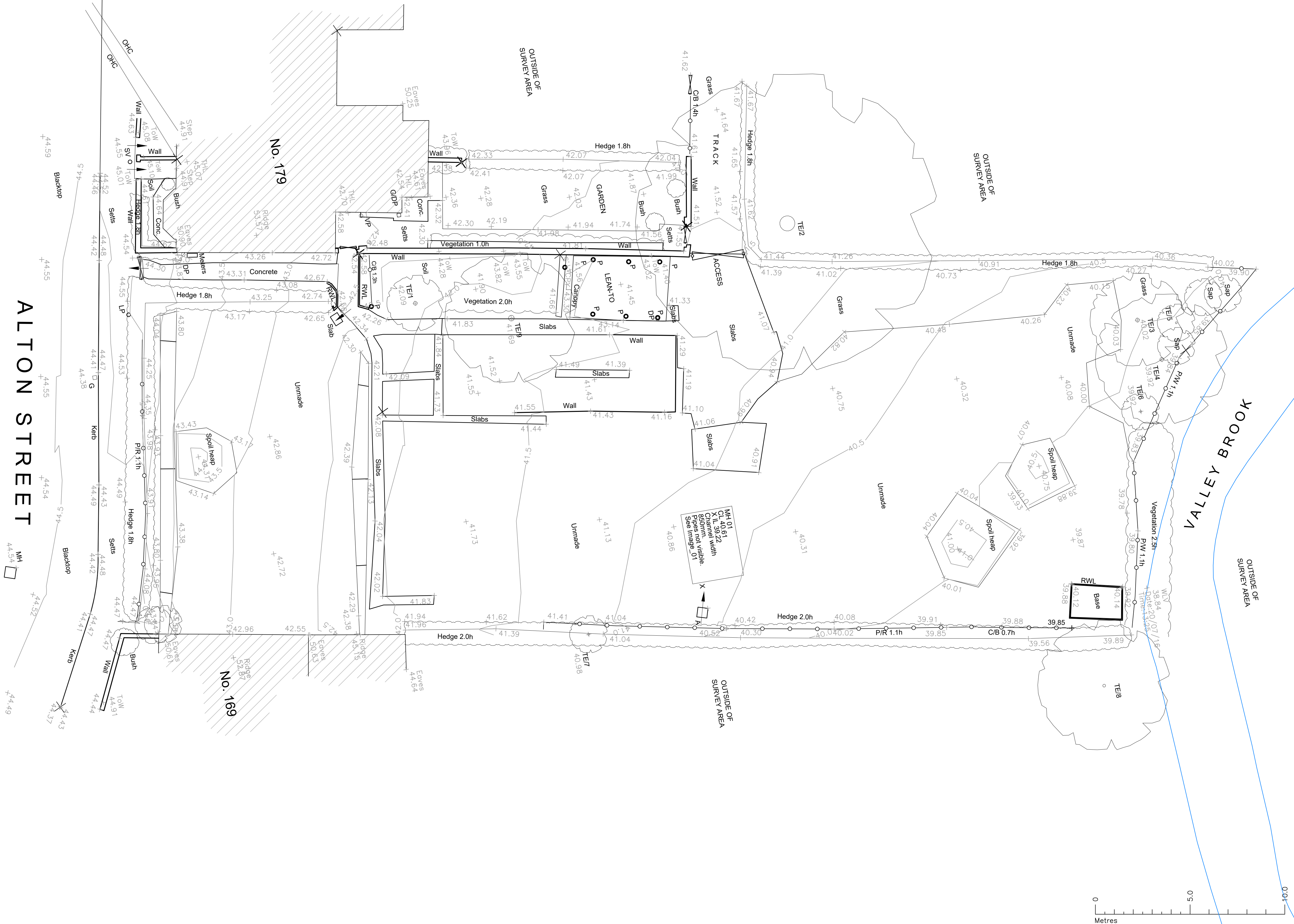
DRAWN: CDR CHECK: -

PROJECT  
Proposed Residential  
Development, Alton Street  
Crewe, CW2 7PU

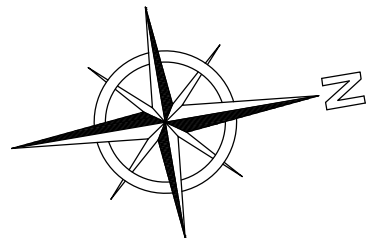
DRAWING

Existing Site Plan

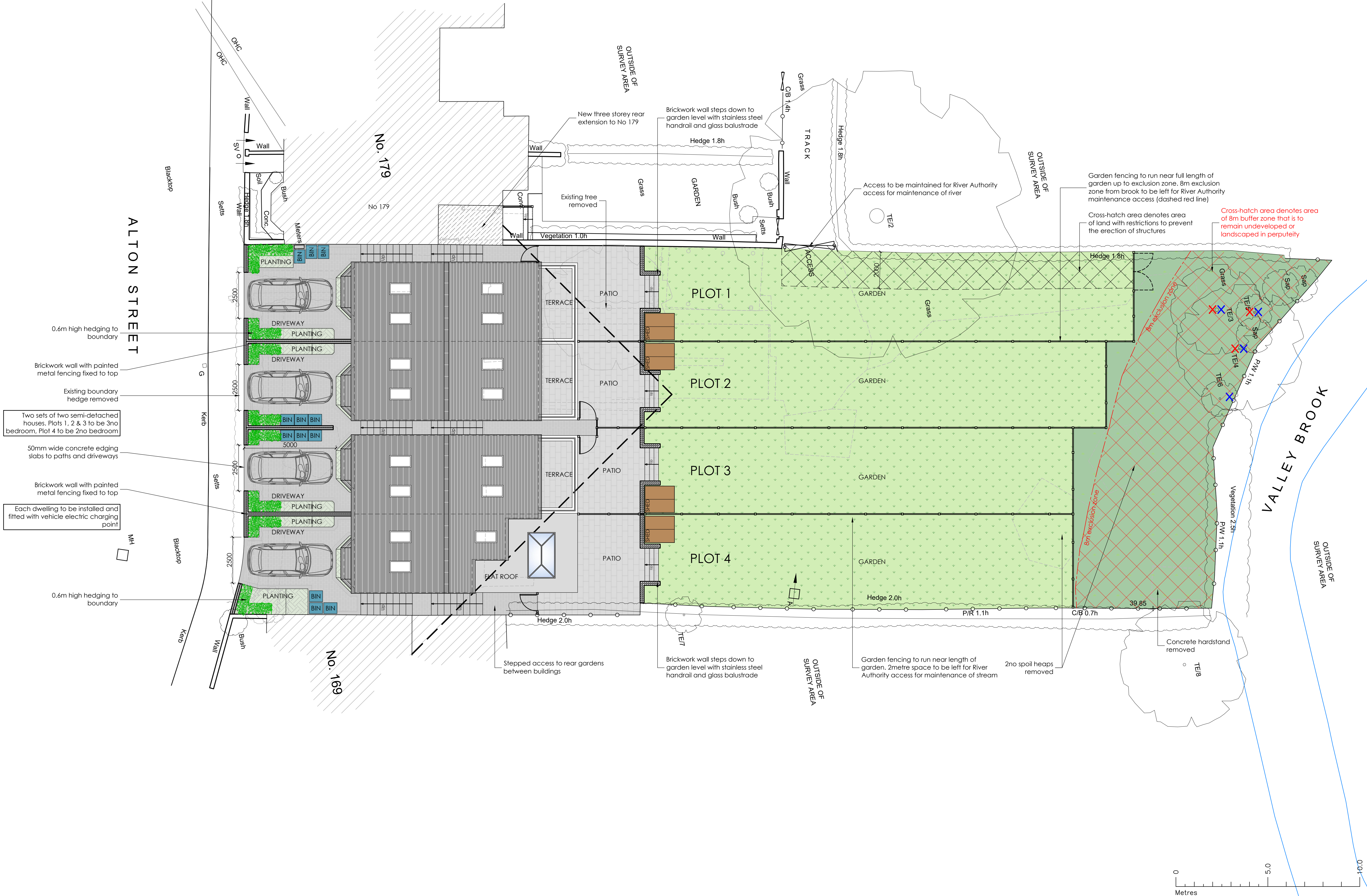
SCALE		DATE	
1:100		16/07/2018	
REF	NUMBER	REV	
1261	13	A	







ALTON STREET



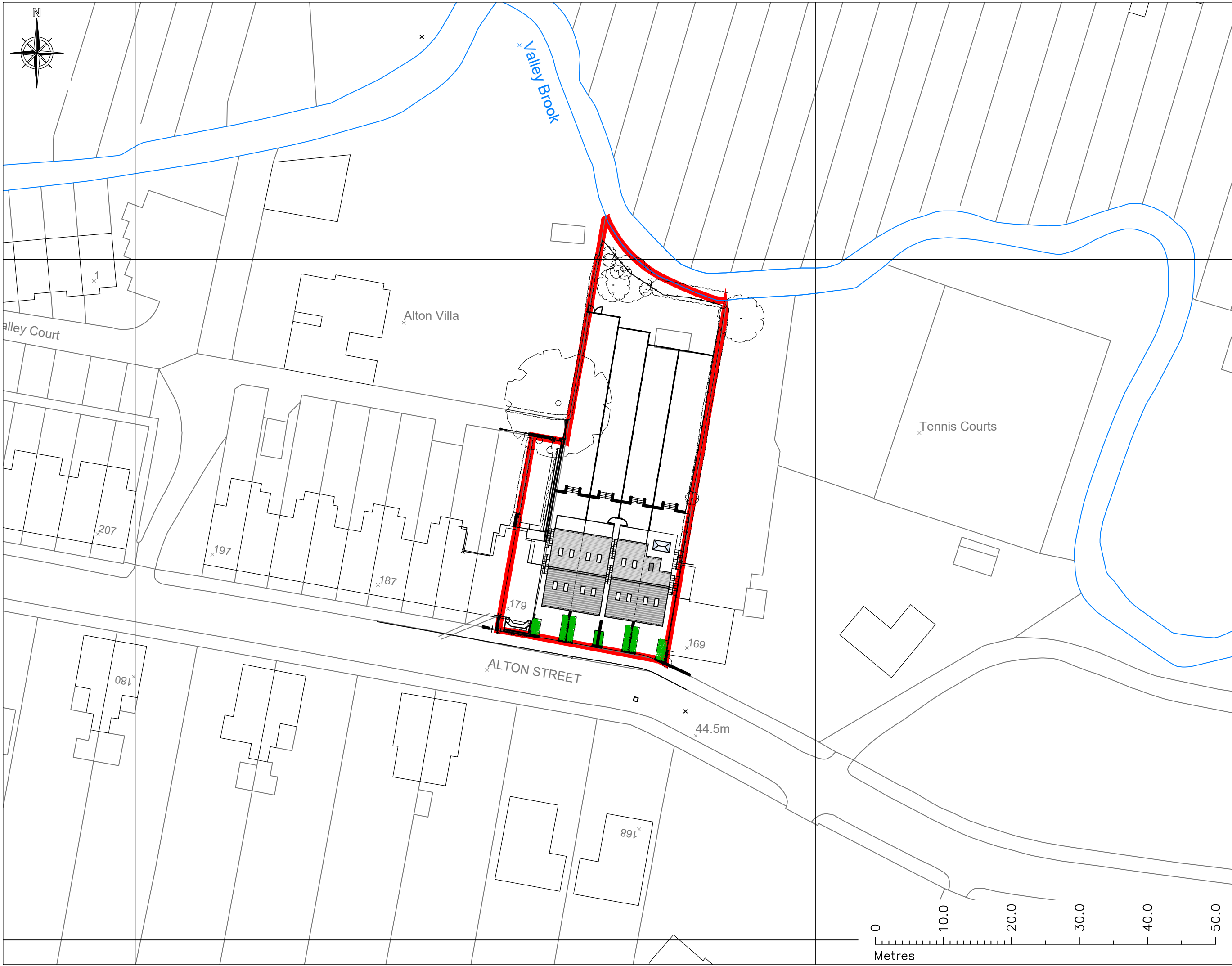
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F	20/02/2023	Drawn: RE	Check: -
Buffer Zone hatch added, EVCP added			
E	14/11/2018	Drawn: PJA	Check: -
Hedge height reduced to frontage.			
D	29/10/2018	Drawn: CDR	Check: -
Revisions following meeting with Local Authority Planners.			
C	28/09/2018	Drawn: CDR	Check: -
Rear extension shown to No 179.			
B	14/09/2018	Drawn: CDR	Check: -
Proposed scheme revised to 3no three bedroom semi detached and 1no two bedroom semi.			
A	16/08/2018	Drawn: CDR	Check: -
Bris relocated. Additional low boundary walls and metal railings added. Roof windows repositioned. Driveway dimensions added.			

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DRAWN: CDR	CHECK: -
PROJECT	
Proposed Residential Development, Alton Street Crewe, CW2 7PU	
DRAWINGS	
Proposed Site Plan	
SCALE 1:100@A1	DATE 16/07/2018
REF 1261	NUMBER 14
REV F	





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A | 28/09/2018 | Drawn: CDR | Check: -  
Revised following scheme change.

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DRAWN : CDR | CHECK : -

PROJECT  
Residential Development  
Alton Street,  
Crewe, CW2 7RS

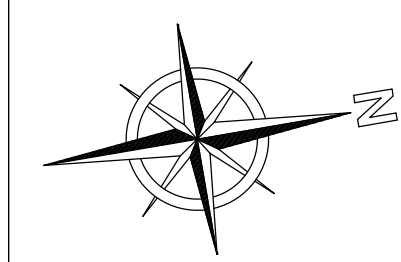
DRAWING  
OS Block Plan

SCALE  
1:500 @ A3

DATE  
17/07/2018

REF	NUMBER	REV
1261	12	A





## PATIO LIGHTING



2no PIR directional Up and down lighting for each property fixed to rear wall at height of 1600mm. PIR detection range 8m with 120° sensor angle.

Lighting to be low wattage, directional, low level and/or shaded to minimize light spill (<1Lux) onto potential flight lines and foraging habitat to ensure that the overall impact caused by lighting the site is negligible.

## LANDSCAPING FINISHES



Turf/grass



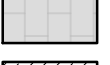
Unmanaged land



Planting bed



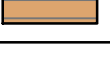
160x160x50mm Marshalls Drivesett  
Tegula Original Pennant Grey (PG) paving slabs



600x300x38mm Marshalls  
Firedstone Dusk (D) paving slabs



British Standard Kerbstones



Timber Decking

PLANT SCHEDULE		
NAME	SIZE	NUMBER
Prunus laurocerasus 'Rotundifolia' Cherry Laurel	60/90 5L	80 (4 per metre)
Choisya ternata Mexican orange blossom	30/40 3L	12
Hydrangea arborescens 'Annabelle' sevenbark	30/40 3L	8
Buddleja davidii 'Black Knight' butterfly bush	30/40 3L	4
Rhododendron 'Cosmopolitan'	30/40 3L	8
Euonymus fortunei 'Emerald n Gold' Winter creeper	20/30 2L	7
Lavandula angustifolia 'Imperial Gem' Lavender	20/30 2L	16

**Bat Box** -

**Description:** Crows Bat Box (provided by Elite Ecology or similar)

**Material:** FSC Certified European Grade European Beech Thermal with ceramic inserts

**Finish:** External surfaces treated with water-based non-toxic non-volatile wood preservative, with water-based natural colour mineral oils

**Dimensions:** Overall height: 370mm, Overall width: 160mm, Overall Depth: 160mm

**Weight:** 0.8kg

**Usage:** 1-4m

**Notes:** - Filling holes in back panel for flying to trees 3-4 metres above ground level

**Quantity:** 3

**Location:** On established trees located as shown on Landscaping Scheme.

**Bird Box** -

**Description:** Acorn Bird Box (provided by Elite Ecology or similar)

**Material:** FSC Certified European Grade European Beech Thermal with ceramic inserts

**Finish:** Non-toxic water-based stain and preservative

**Dimensions:** Overall height: 260mm, Overall width: 260mm, Overall Depth: 160mm

**Weight:** 0.8kg

**Usage:** 1-4m

**Notes:** - Filling 2 holes in back panel 3-4 metres above ground level

**Quantity:** 4

**Location:** On established mature trees along site boundary (location shown on Landscaping Scheme)

**WEED CONTROL/TREATMENT**  
Prior to planting of ornamental plants or shrubs, all designated areas shall be treated with an application of an approved chemical at a rate approved for perennial weeds and grasses. Any areas designated for grass seeding is to have any existing vegetation treated with an approved total non-residual herbicide containing the chemical 'Glyphosate' at the rate recommended by the manufacturer for perennial and annual weeds. Where the removal treatment is unsatisfactory, further application may be required and applied where necessary.

**CULTIVATION**  
Following the completion of topsoiling and minor grading, all areas to be planted and seeded shall be thoroughly cultivated; removing any surface debris, unwanted vegetation, perennial weeds, large stones, bricks or concrete. Cultivating shall be to a depth of 200mm with the use of suitable machinery or by hand. Any work under the spread of trees and where roots are near the surface (shallower than 200mm deep) shall be cultivated by hand to avoid damage to roots.

**SHRUB AND PERENNIAL PLANTING**  
Prior to removal of the containers, plants within each group shall be informally set out over the areas indicated on the planting drawings and avoiding being set out in straight lines. Planting holes should be larger than their respective container sizes allowing for the sides and bottoms of the pits being loosened up. The minimum sizes of holes are described in the guidance below:

SIZE OF SHRUB	DIAMETER OF PLANTING HOLE	DEPTH OF PLANTING HOLE	NO. OF HOLES PER 80L BAG OF COMPOST	QUANTITY OF SLOW RELEASE FERTILIZER PER HOLE
Large 3 Litre	300-450mm	300mm	10	60g
Medium 2 Litre and bare rooted material	300-450mm	300mm	10	60g
Small 1 Litre	100-150mm	150mm	15	30g

When setting out is complete, the plants are to be carefully removed from their containers and immediately planted. Please note; if the roots appear pot bound, it may be necessary to tear the root system out with care taken to avoid damaging the roots or root ball. After the plant is firmed in, as settlement is finished, soil levels should match the original soil mark on the stem of the shrub.

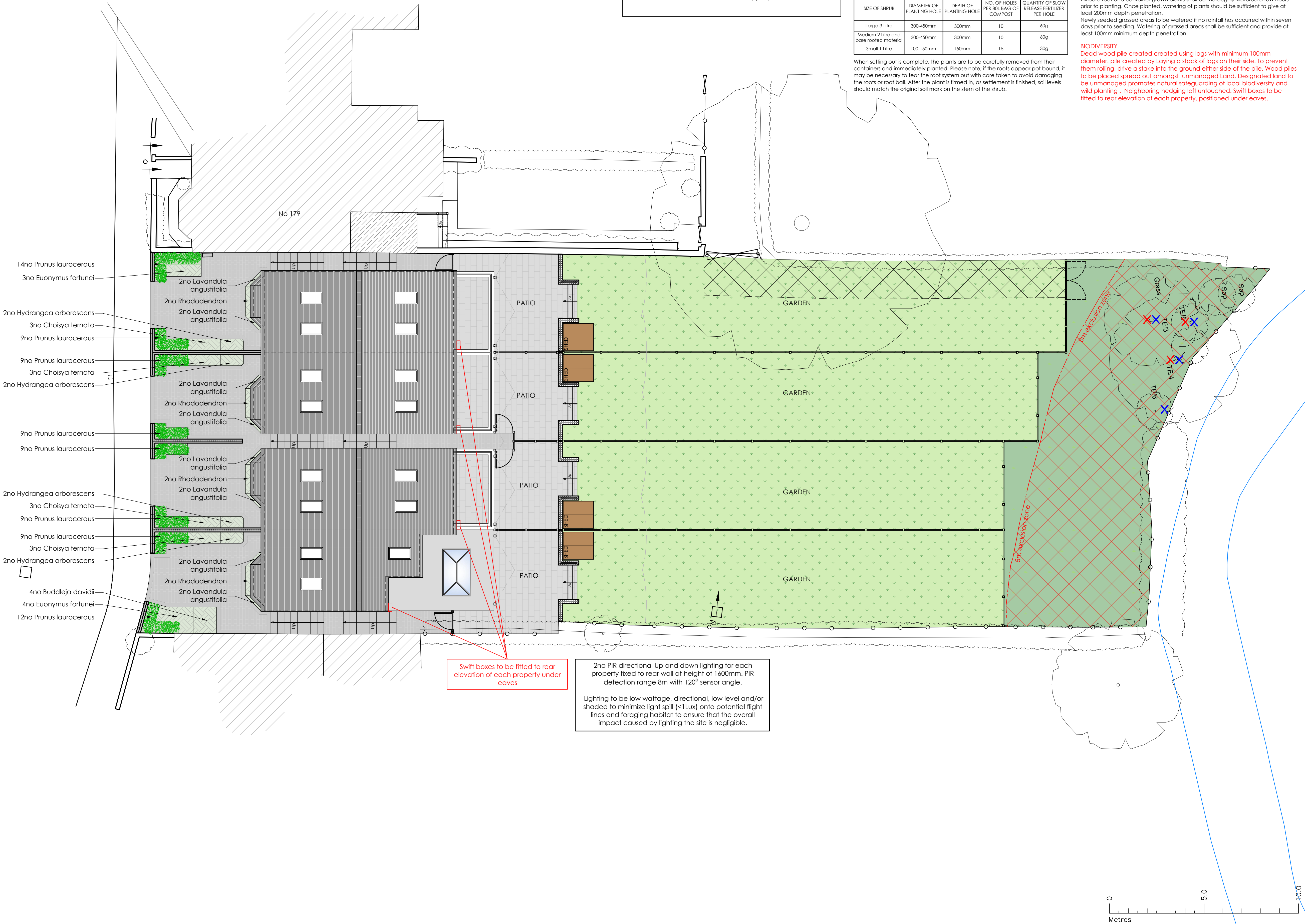
**FERTILIZER**  
Prior to back filling, topsoil shall be finely broken down and a balanced slow release fertilizer (such as Enmag or similar approved) should be evenly incorporated into each planting hole. Refer to the table above for proportions.

**POST PLANTING OPERATIONS**  
Following the completion of all planting operations, the contractor shall form a defined edge between the planting beds and the surrounding ground levels. Edges adjacent to turf/seeded areas to be half-moon shape.

**SEEDING OF GRASSED AREAS**  
Areas of ground designated for seeding to be prepared by raking or harrowing (with a spike or chain harrow) the surface which will then be uniformly firmed and reduced to a fine tilth at least 50mm deep. All stones and debris 25mm or greater shall be removed from the surface. The seed mixture shall be British seed houses BS1A22 mix and be sown at a rate of 35grams/m<sup>2</sup>. Immediately after seeding the area, the surface shall be lightly and evenly raked or chain harrowed in. Seeding is not to take place when the ground conditions are considered unsuitable, i.e. during extremely windy, wet or dry conditions, or during frosty weather. Seeding can take place during the period beginning of April to the end of October, providing a satisfactory tilth can be obtained.

**WATERING**  
All bare root and container grown plants shall be thoroughly watered a few hours prior to planting. Once planted, watering of plants should be sufficient to give at least 200mm depth penetration. Newly seeded grassed areas to be watered if no rainfall has occurred within seven days prior to seeding. Watering of grassed areas shall be sufficient and provide at least 100mm minimum depth penetration.

**BIODIVERSITY**  
Dead wood pile created created using logs with minimum 100mm diameter, pile created by laying a stack of logs on their side. To prevent them rolling, drive a stake into the ground either side of the pile. Wood piles to be placed spread out amongst unmanaged Land. Designated land to be unmanaged promotes natural safeguarding of local biodiversity and wild planting. Neighboring hedging left untouched. Swift boxes to be fitted to rear elevation of each property, positioned under eaves.



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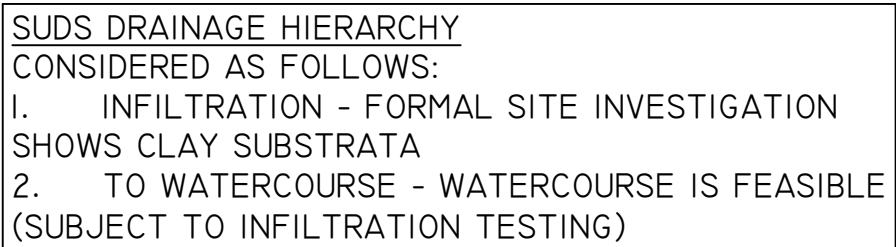
D	07/04/2023	Drawn: RE	Check: -
Swift boxes revised			
C	07/04/2023	Drawn: RE	Check: -
Terraced swift boxes added with notes			
B	03/04/2023	Drawn: RE	Check: -
Patio lighting added with notes			
A	17/03/2022	Drawn: RE	Check: -
Bat and Bird boxes added to trees around brook			

# ASK

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DRAWN: CDR	CHECK: -
PROJECT	
Proposed Residential Development, Alton Street Crewe, CW2 7PU	
DRAWINGS	
Proposed Landscaping Plan	
SCALE 1:100@A1	DATE 29/09/2021
REF 1261	NUMBER 28
REV D	





1. MANHOLE COVERS TO BE IN ACCORDANCE WITH BS EN 124.
2. CLAY PIPES TO BE FLEXIBLY JOINTED AND COMPLY WITH THE REQUIREMENTS OF BS EN 295. AS MESSRS HEPWORTH SUPERSLEEVE AND HEPSEAL.
3. CONCRETE PIPES TO BE FLEXIBLY JOINTED AND COMPLY WITH THE REQUIREMENTS OF BS 5911.
4. PLASTIC PIPES (PVC-U) TO BE FLEXIBLY JOINTED AND COMPLY WITH THE REQUIREMENTS OF BS EN 1401-1 1998.
5. WHERE COVER TO PIPES IS LESS THAN 1200 IN ROADS AND HANDSTANDINGS OR 900 MM ELSEWHERE, CONCRETE SURROUND IS TO BE PROVIDED IN ACCORDANCE WITH THE DETAIL.
6. N.B. UNTIL FINAL SERVICE IS PLACED, HEAVY TRAFFIC IS NOT TO BE ALLOWED OVER PIPE TRENCHES WITHOUT SPECIAL PRECAUTIONS.
7. PIPES AND FITTINGS ARE TO BE LAID IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
8. MANHOLE COVERS IN CAR PARKS TO BE LOAD CLASS Dk400 TO BS EN 124.
9. MANHOLE COVERS IN LANDSCAPED AND PAVED AREAS TO BE LOAD CLASS B125 BS EN 124.
10. MANHOLE COVERS IN PAVED AREAS TO BE RECESSED TO ACCEPT PAVING FINISH.
11. ACCESS COVERS FOR GULLIES IN KERBSIDES TO BE LOAD CLASS C250 BS EN 124.
12. ALL INTERNAL POP UPS TO BE HEAVY RODDABLE ACCESS
13. ALL PIPES TO BE OSMA WAVIN RANGE.
14. CLIENT/ CONTRACTOR TO ALLOW FOR ASSOCIATED TEMPORARY WORKS. TEMPORARY WORKS DESIGN OUT OF BMC'S SCOPE.


SCHEME SHOWN INDICATIVELY ONLY - FOR TECHNICAL APPROVAL ONLY.


SUBJECT TO AGREEMENT BY THE LOCAL LEAD FLOOD  
AUTHORITY, ENVIRONMENT AGENCY, LOCAL COUNCIL, UTILITIES  
COMPANY, BUILDING CONTROL AND WARRANTY PROVIDER



DEVELOPER TO SEEK FORMAL APPROVALS ONCE SCHEME IS CONFIRMED FROM  
ALL NECESSARY THIRD PARTIES


ALL EXISTING AND PROPOSED COVER AND INVERT LEVELS TO BE CONFIRMED  
PRIOR TO COMMENCING WORKS - CONTRACTOR TO CONFIRM PRIOR TO  
COMMENCING WORKS TO CONFIRM SCHEME IS VIABLE AND FEESIBLE

**KEY:**

 DENOTES NEW FOUL WATER PIPE - ALL PIPES TO BE 100Ø U.N.O LAID INVERT TO INVERT LEVELS (ALL INTERNAL POP UPS TO BE 1:40)

 DENOTES NEW SURFACE WATER PIPE - ALL PIPES TO BE 150Ø U.N.O LAID INVERT TO INVERT LEVELS

  DENOTES NEW 450Ø PPIC U.N.O

 DENOTES VENT - SEE WAVIN TECHNICAL INFORMATION FOR MORE INFORMATION

SCHEME DESIGNED FOR: 1:100 YEAR & 40% CLIMATE CHANGE WITH NO FLOODING

ALL ACO REQUIREMENTS AT THRESHOLDS TBC - CONTRACTOR TO MAKE ALLOWANCE. FINAL POSITIONS OF SVP'S AND RWP'S TO BE CONFIRMED BY ARCHITECT.

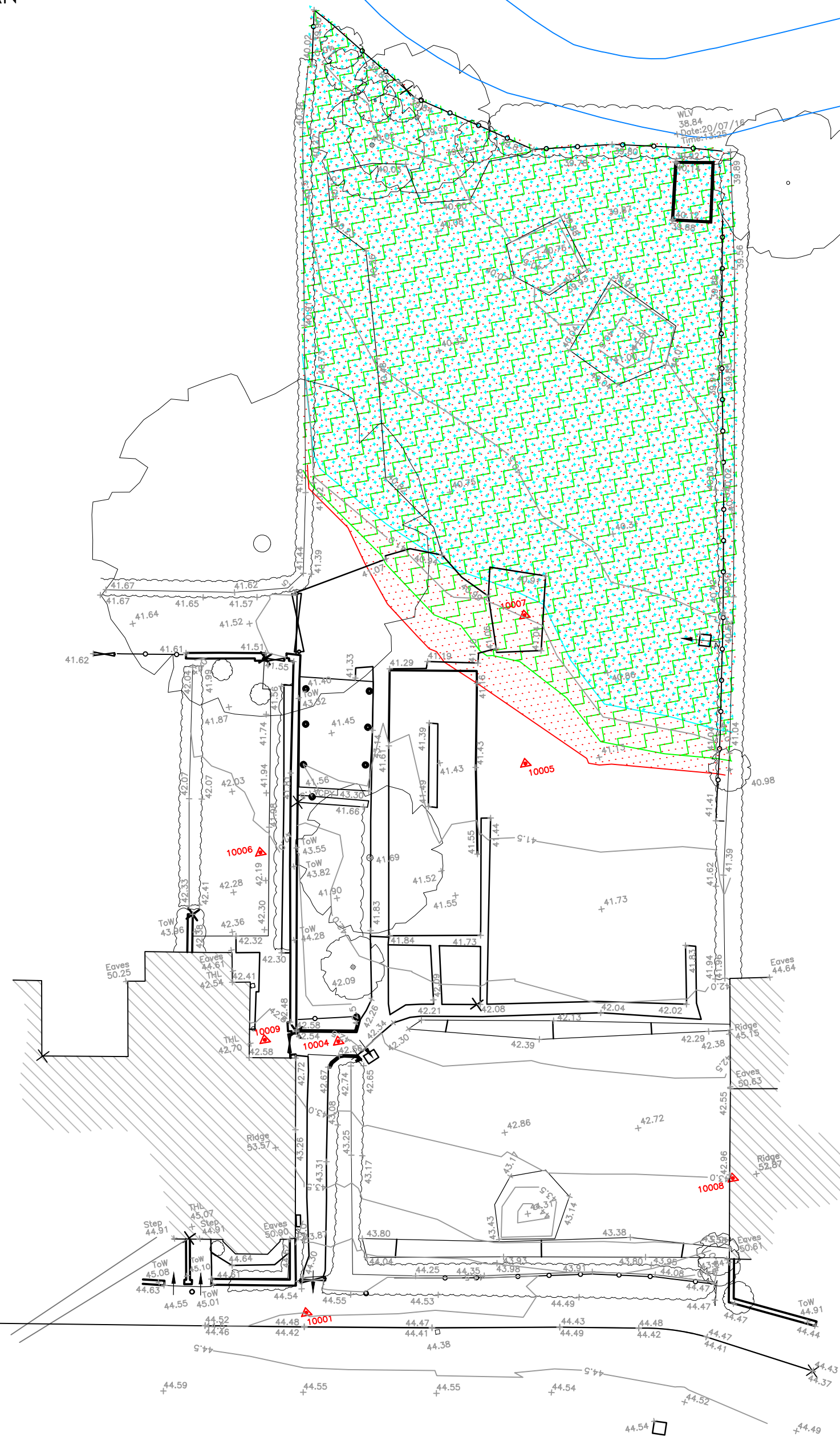
HYDROBRAKE TO BE DESIGNED FOR:  
FLOW LIMIT - 5L/S, HEAD - 0.44M

SECTION THROUGH DRAINAGE OVER UU COMBINED SEWER  
1:200 @ A1 (X5 VERTICAL EXAGGERATION)  
1:400 @ A3 (X5 VERTICAL EXAGGERATION)

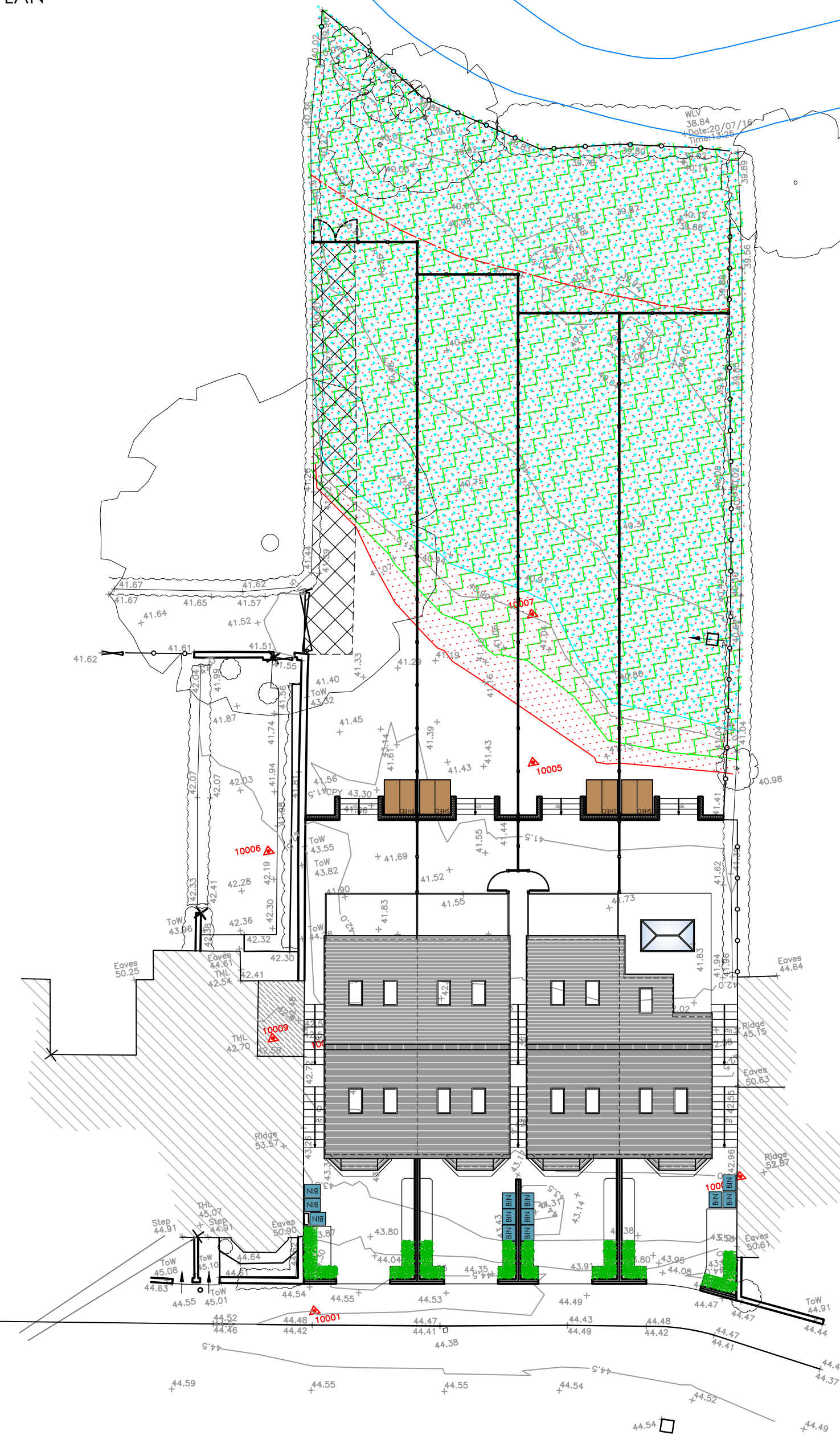
CLIENT:			
MITCHELL HOMES			
PROJECT:			
ALTON STREET, CREWE			
TITLE:			
SITE LAYOUT SHOWING DRAINAGE			
DRAWN BY:	CHECKED BY:	SCALE:	DATE:
TN	SB	1:100	10.21
DRAWING NUMBER:			REVISION:
J7380 / D01			B



## EXISTING SITE PLAN



## PROPOSED SITE PLAN



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PROJECT:

Proposed Residential  
Development, Alton Street  
Crewe, CW2 7PU

DRAWING:

Flood Risk Zone Plan

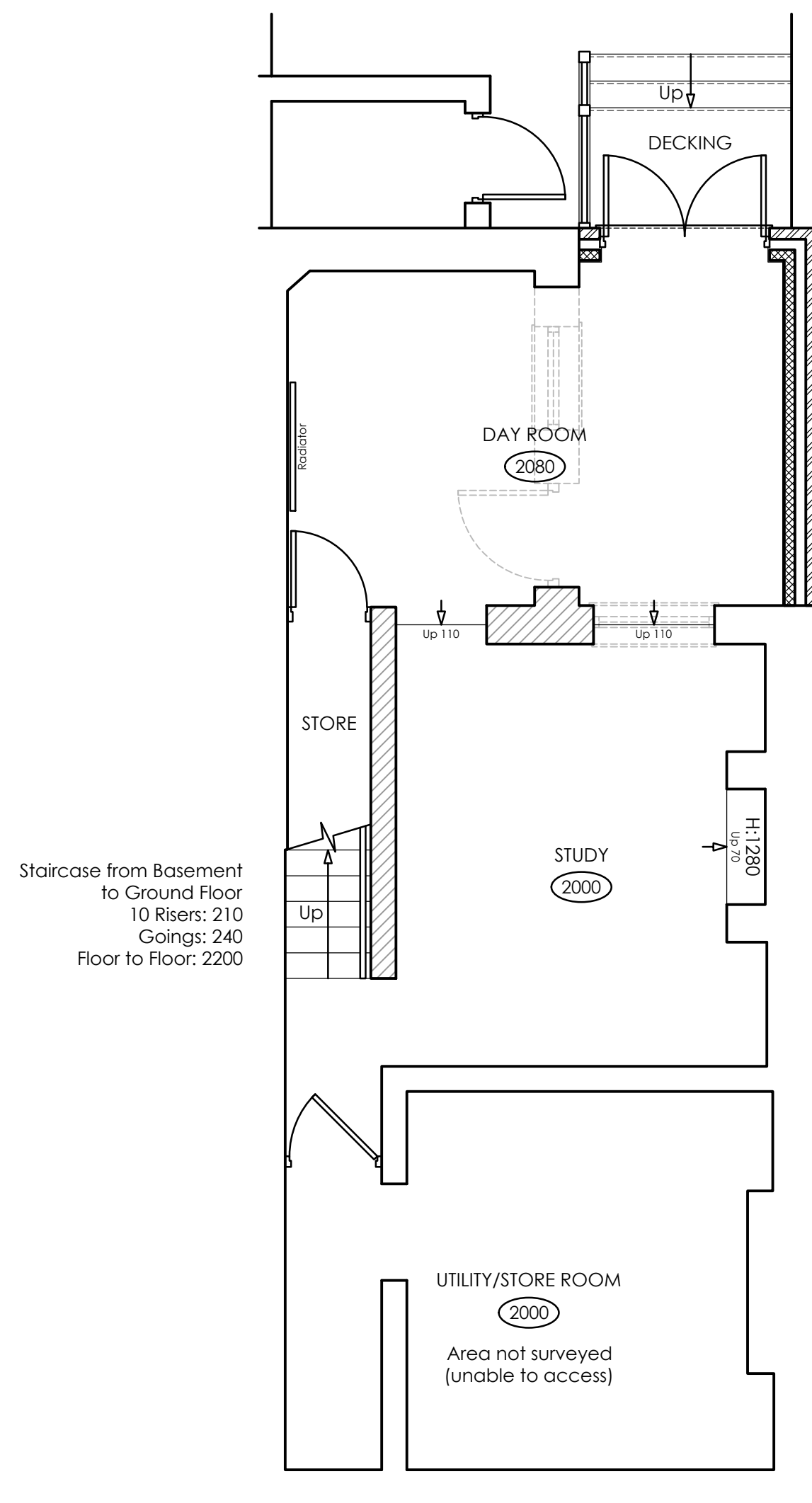
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NUMBER:	24
REVISION:	

DRAWN:	CHECK:	SCALE:	DATE:
-	-	1:200 @ A2	02/01/2019

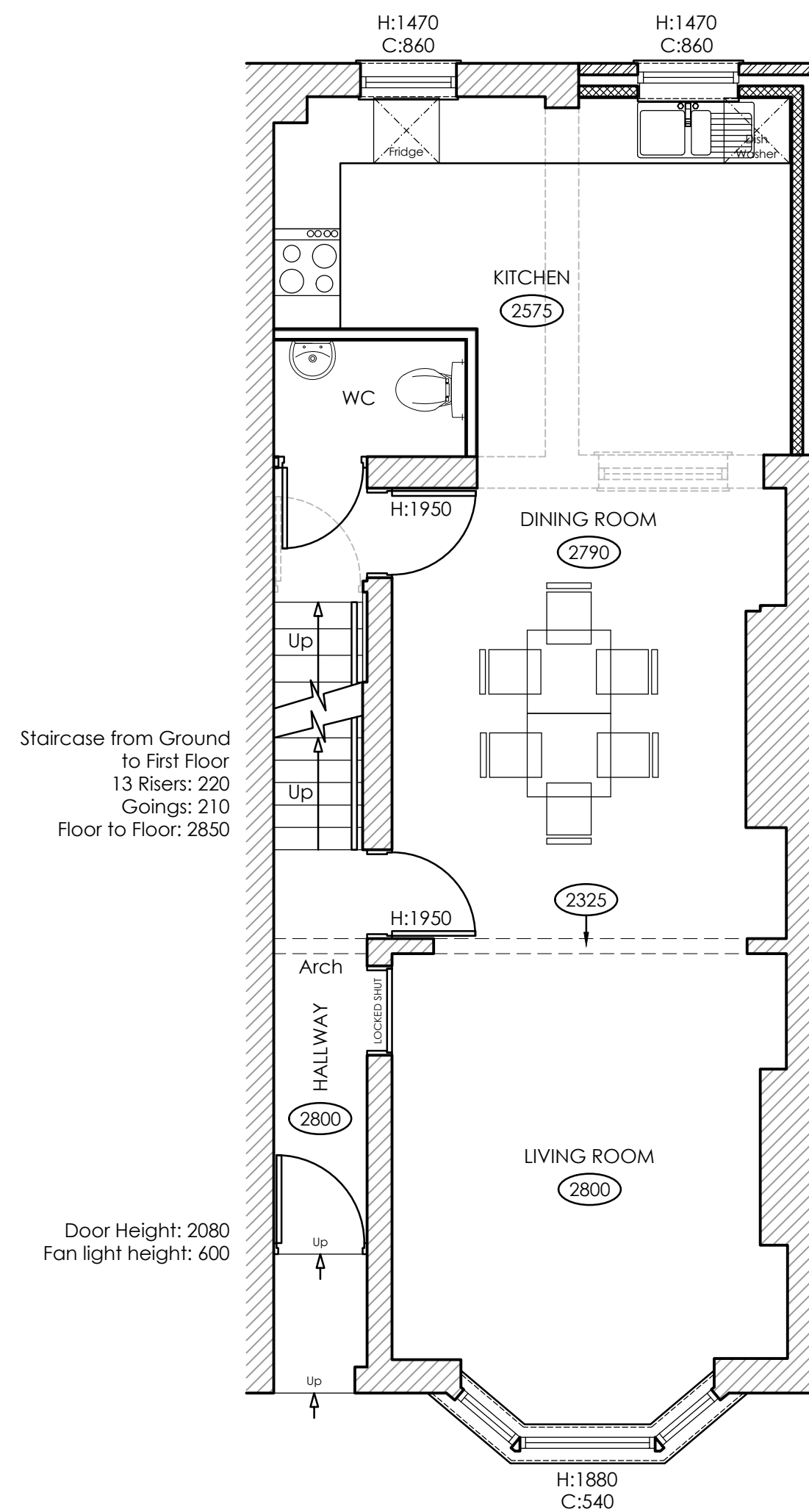
-	--/--/----	Drawn: -	Check: -
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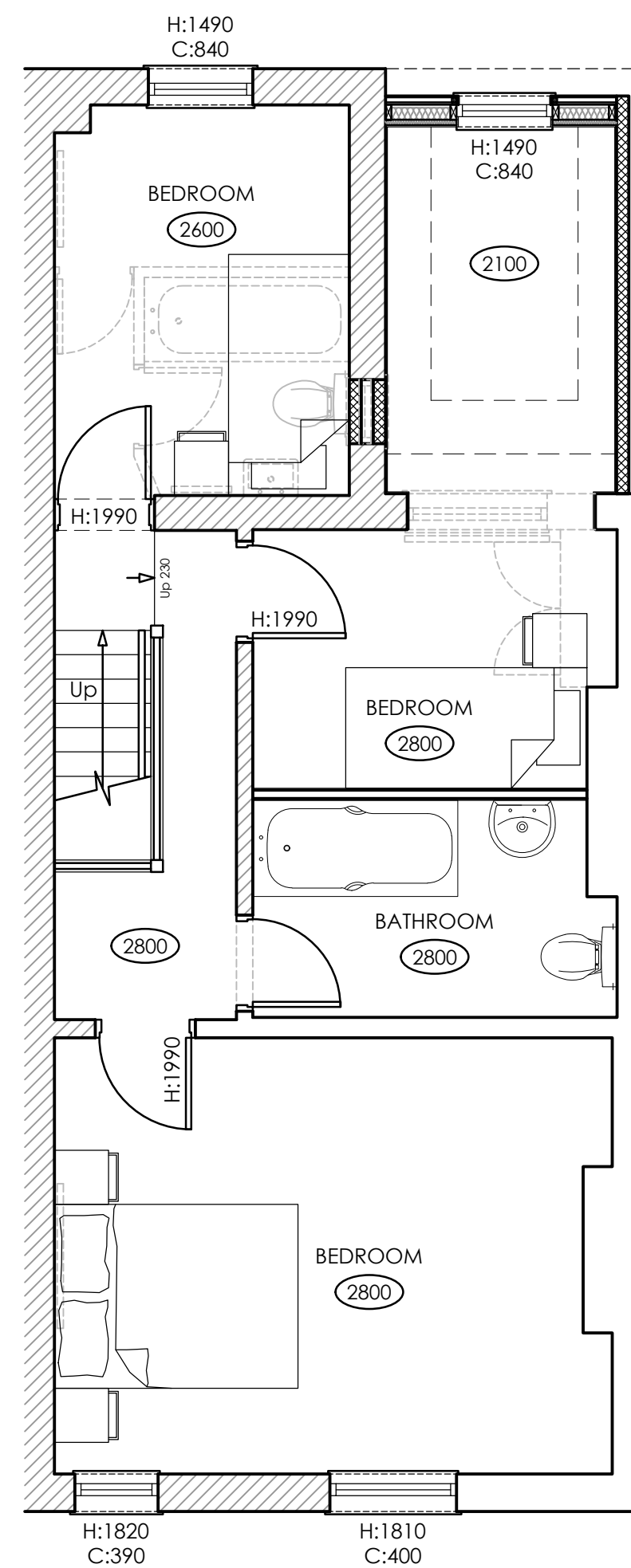


Staircase from Basement  
to Ground Floor  
10 Risers: 210  
Goings: 240  
Floor to Floor: 2200



Staircase from Ground  
to First Floor  
13 Risers: 220  
Goings: 210  
Floor to Floor: 2850

Door Height: 2080  
Fan light height: 600



-	-	Drawn: -	Check: -
-			

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DRAWN: CDR	CHECK: -
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PROJECT  
Proposed Residential  
Development, Alton Street  
Crewe, CW2 7PU

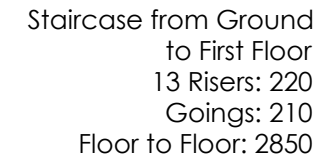
DRAWING

Proposed  
No 179 GA Plans

SCALE 1:50 @ A2	DATE 14/07/2019
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REF	NUMBER	REV
1261	26	-

-	-	Drawn: -	Check: -
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DRAWN: CDR | CHECK: -

DRAWING  
Existing  
No 179 GA Plans

REF	NUMBER	REV
1261	25	-



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UPPER FIRST FLOOR FFL  
48.150

LOWER FIRST FLOOR FFL  
47.920

GROUND FLOOR FFL  
45.070

BASEMENT FLOOR FFL  
42.870



181

179

FRONT ELEVATION - No179



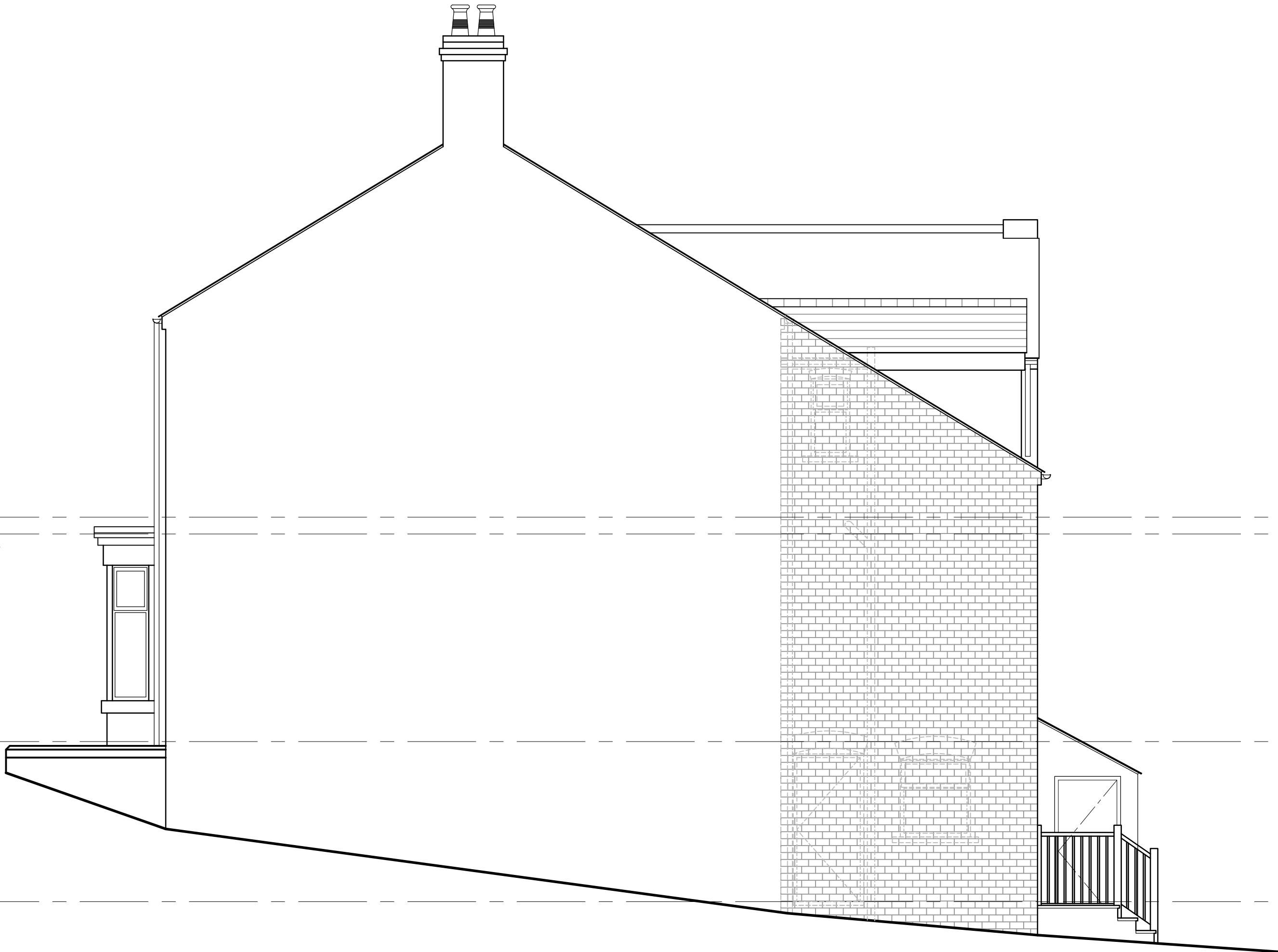
REAR ELEVATION - No179

UPPER FIRST FLOOR FFL  
48.150

LOWER FIRST FLOOR FFL  
47.920

GROUND FLOOR FFL  
45.070

BASEMENT FLOOR FFL  
42.870



SIDE ELEVATION - No179



A 15/01/2019 Drawn: CDR Check: -  
Elevations updated following site survey.  
Decking and French doors added to basement  
level.

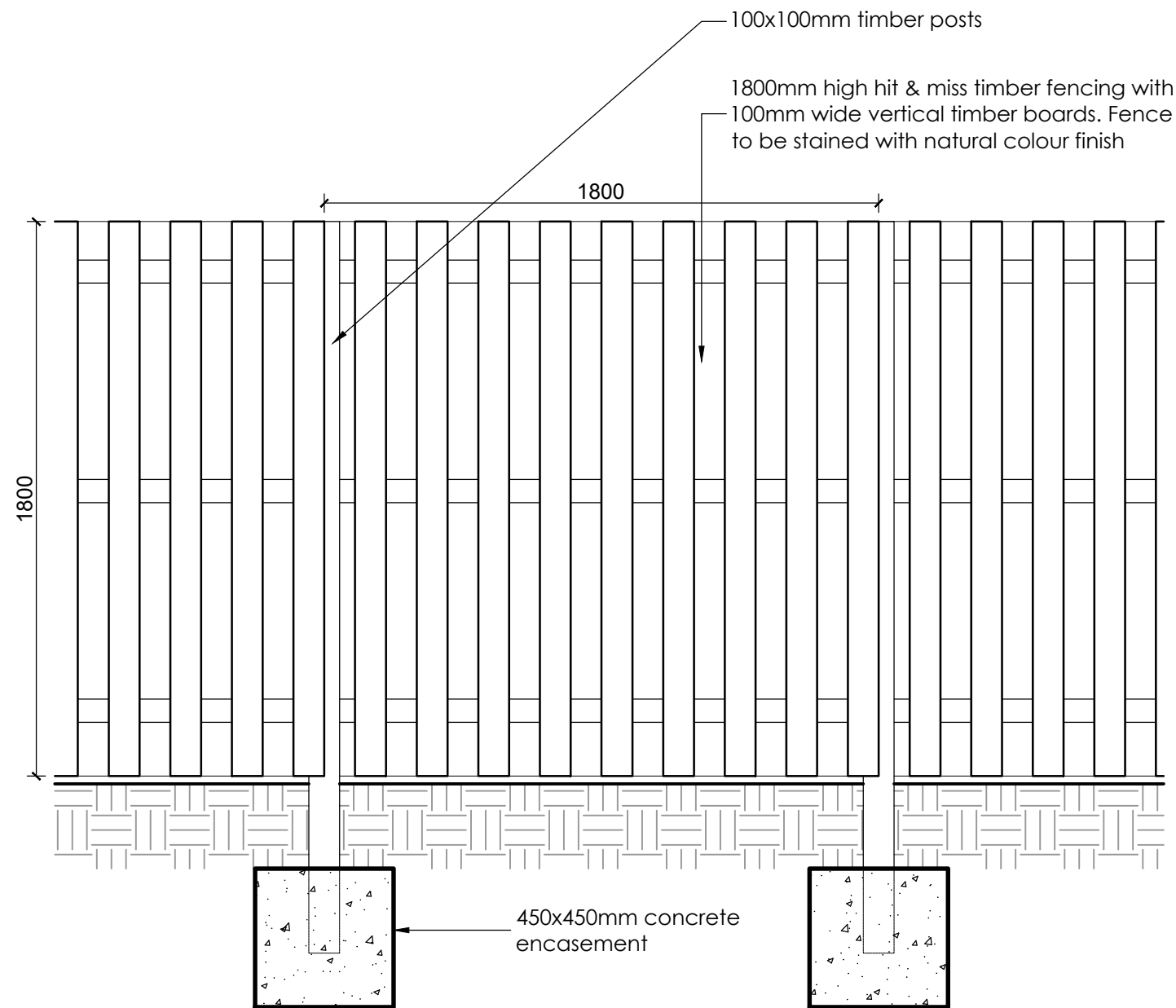
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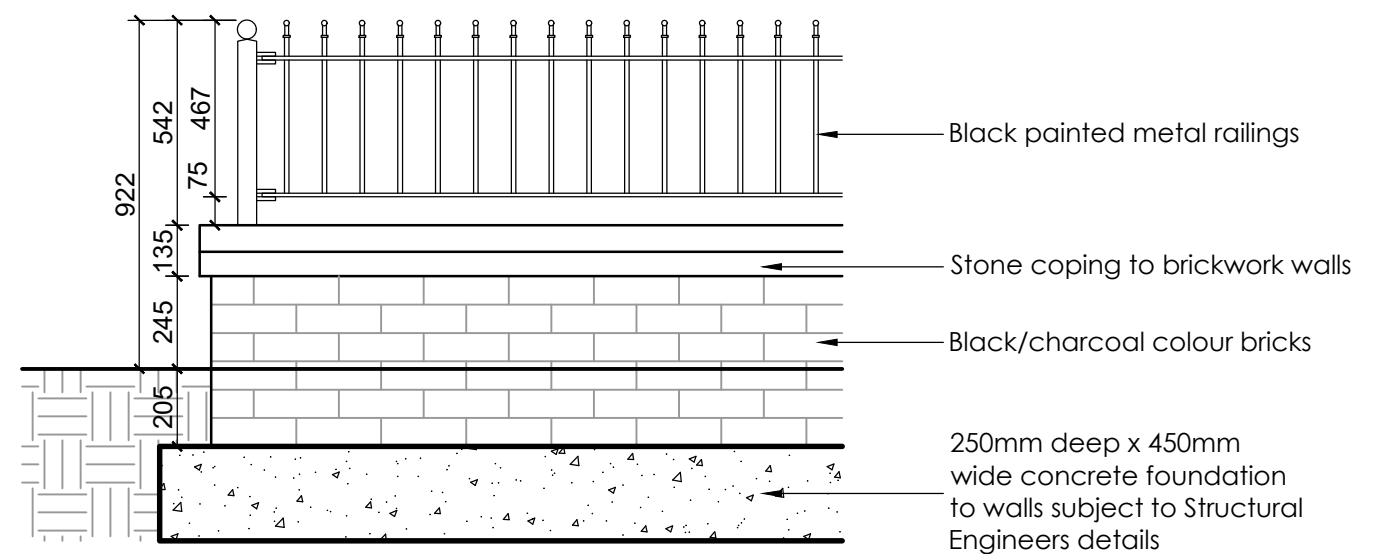
PROJECT  
Proposed Residential  
Development, Alton Street  
Crewe, CW2 7PU

DRAWINGS  
Proposed Elevations  
No 179

SCALE		DATE	
REF	NUMBER	NUMBER	REV
1261	23		A



1800mm HIGH VERTICAL HIT AND MISS FENCE



920MM HIGH BRICK WALL WITH METAL RAILINGS

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Drawn: - Check: -



PROJECT:  
Residential Development  
Alton Street, Crewe  
CW2 7PU

DRAWN: CDR

CHECK: -

DRAWING:  
Proposed  
Fencing Details

SCALE:  
1:20 @ A3

DATE:  
29/09/2021

REF:  
1261  
NUMBER:  
27  
REVISION:  
-



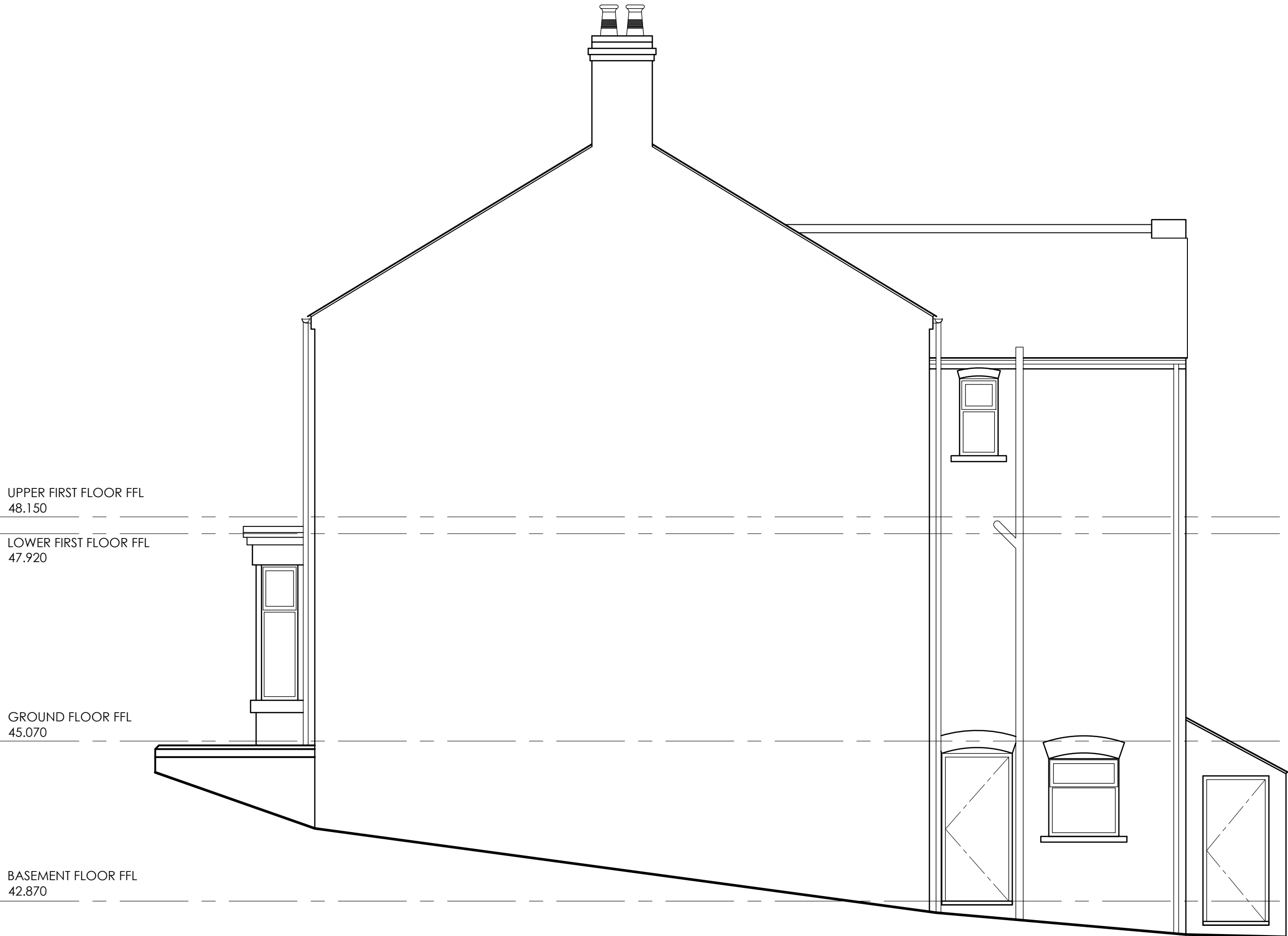
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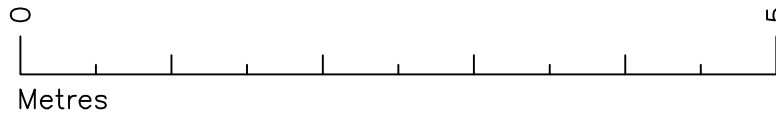
FRONT ELEVATION - No179



REAR ELEVATION - No179



SIDE ELEVATION - No179



A 15/01/2019 Drawn: CDR Check: -  
Elevations updated following site survey.

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PROJECT  
Proposed Residential  
Development, Alton Street  
Crewe, CW2 7PU

DRAWINGS  
Existing Elevations  
No 179

SCALE	DATE	
1:50@A1	29/09/2018	
REF	NUMBER	REV
1261	22	A



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C	04/01/2019	Drawn: CDR	Check: -
Minor revisions to terrace and stairs.			
B	28/09/2018	Drawn: CDR	Check: -
Revised following scheme change.			
A	16/08/2018	Drawn: CDR	Check: -
Bins relocated. Additional low boundary walls and metal railings added. Roof windows repositioned.			

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DRAWN: CDR	CHECK: -
PROJECT	
Proposed Residential Development, Alton Street Crewe, CW2 7PU	
DRAWING	
Proposed Junction Visibility Splay	
SCALE 1:200 @ A2	DATE 18/07/2018
REF 1261	NUMBER 19
REV C	



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RIDGE HEIGHT  
53.570

SECOND FLOOR FFL  
50.425

FIRST FLOOR FFL  
47.875

GROUND FLOOR FFL  
44.950

181

179

ALTON STREET

169

Solar panels

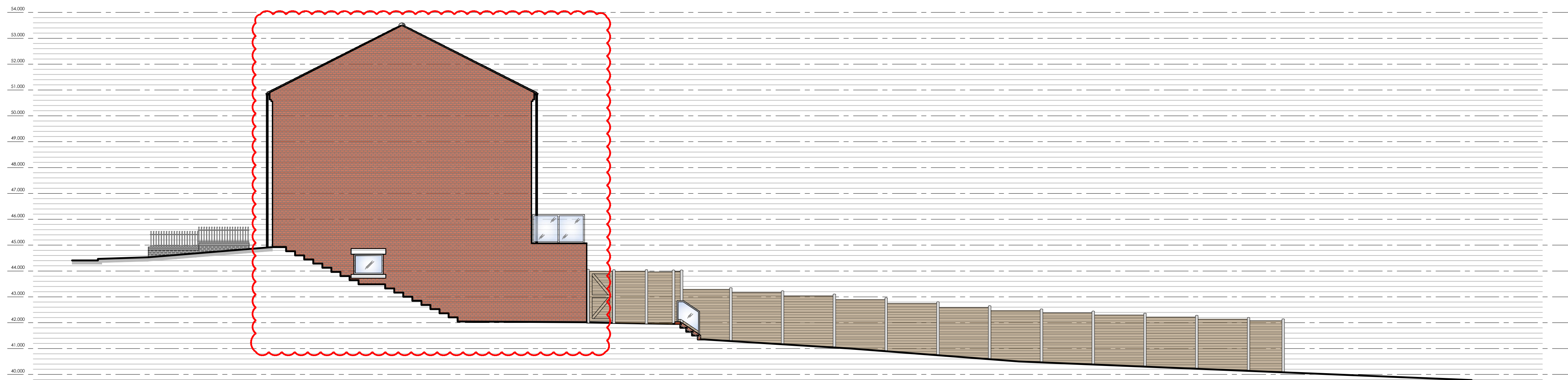
C	04/01/2019	Drawn: CDR	Check: -
Archways and windows added above front entrance doors.			
B	15/11/2018	Drawn: PJA	Check: -
Revisions to hedge height following discussions with Highways.			
A	29/10/2018	Drawn: CDR	Check: -
Revisions following meeting with Local Authority Planners.			

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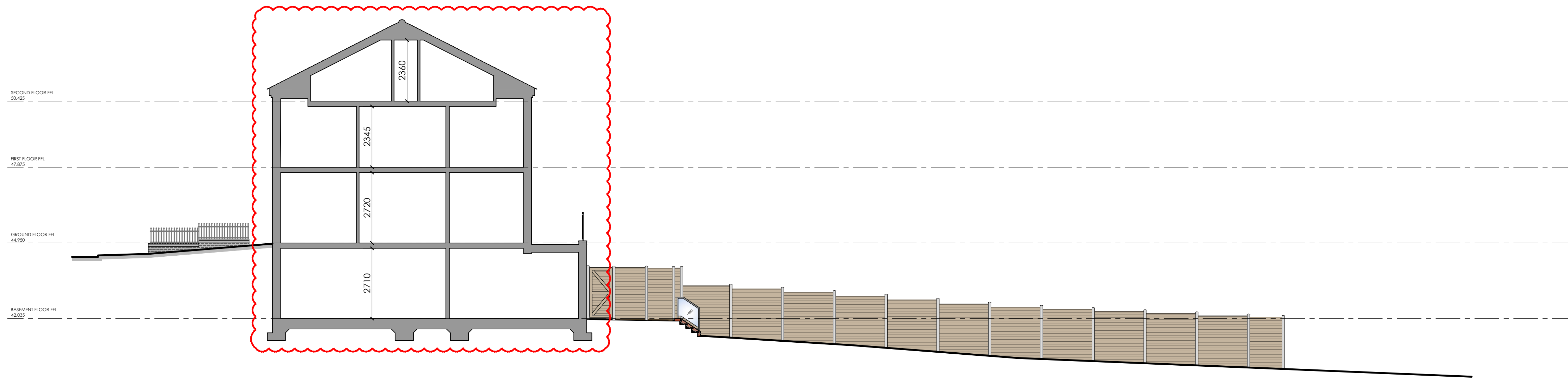
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PROJECT			
Proposed Residential Development, Alton Street Crewe, CW2 7PU			
DRAWINGS			
Proposed Street Scene Elevations			
SCALE	1:50@A1	DATE	09/08/2018
REF	NUMBER	REV	
1261	18	C	

0 5.0  
Metres

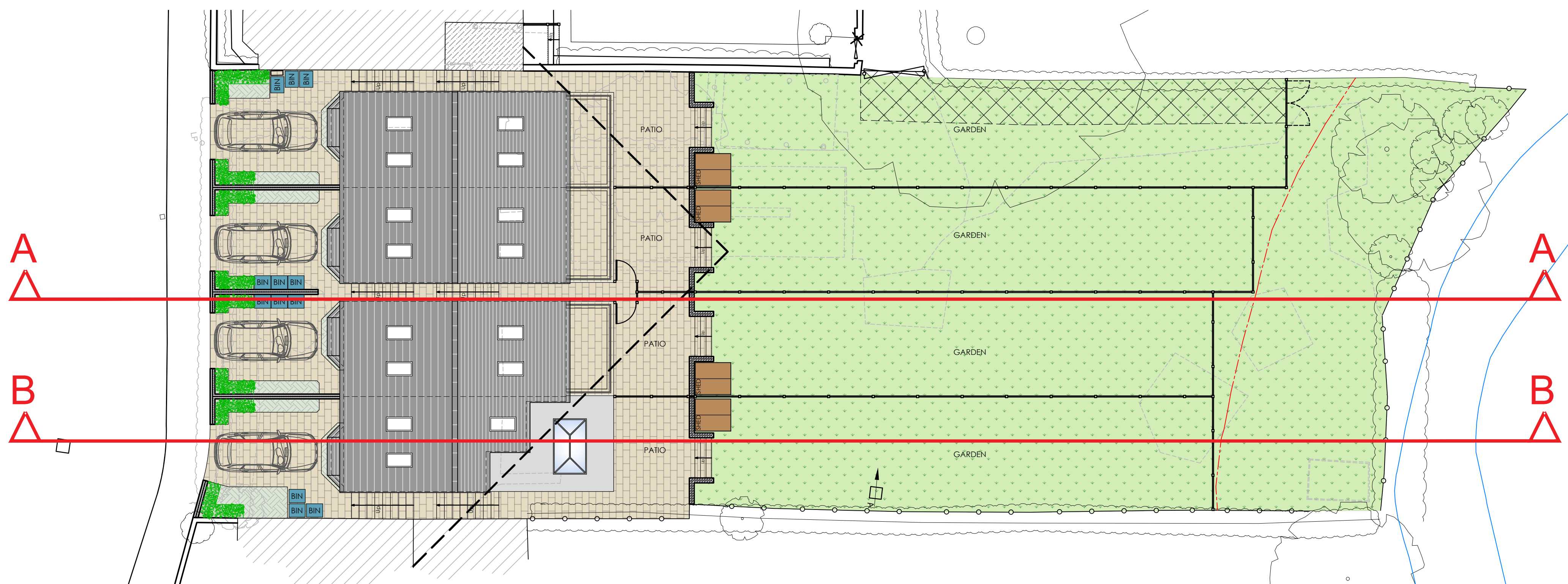




SITE SECTION A-A



SITE SECTION B-B



SITE PLAN - NTS



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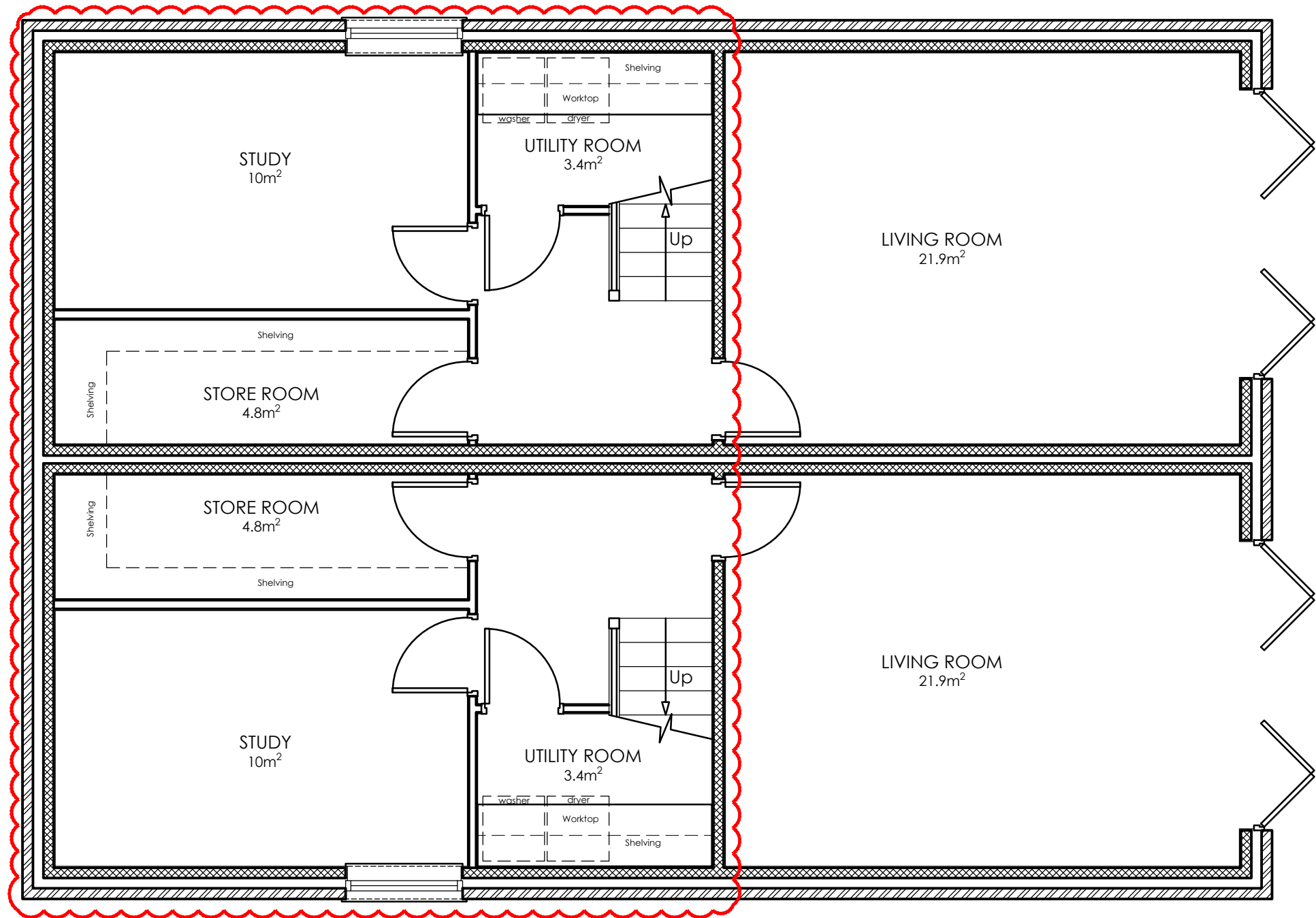
C	04/01/2019	Drawn: CDR	Check:
B	28/09/2018	Drawn: CDR	Check:
A	16/08/2018	Drawn: CDR	Check:

Section and elevation amended to suit revised  
GA plans.  
Elevations revised to suit scheme change.  
Level indicators added to Section A-A. Second  
Floor revised.

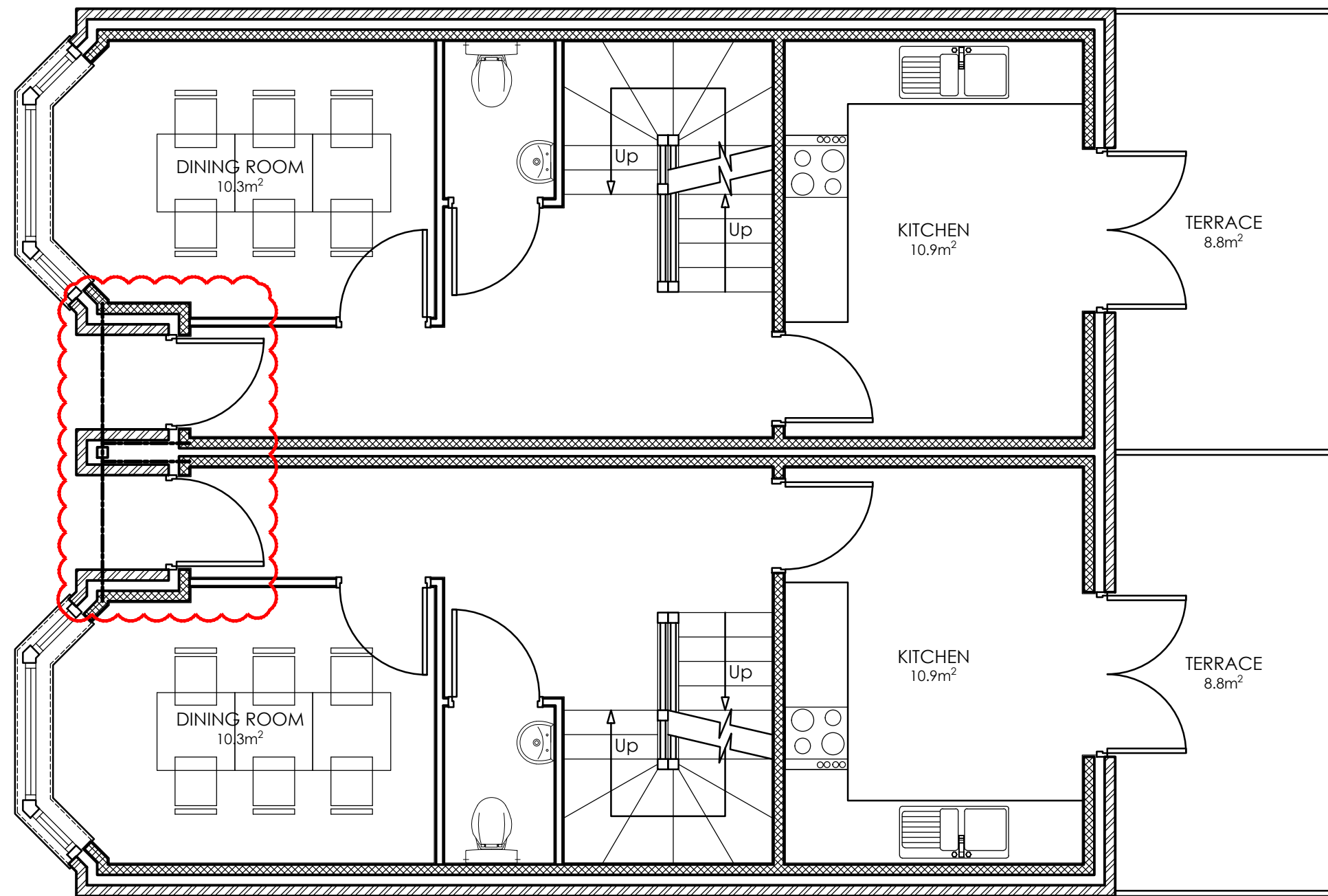
DRAWN:	CDR	CHECK:	-
PROJECT	Proposed Residential Development, Alton Street Crewe, CW2 7PU		
DRAWING	Proposed Site Sections		
SCALE	1:100 @ A1	DATE	19/07/2018
REF	NUMBER	REV	
1261	15	C	



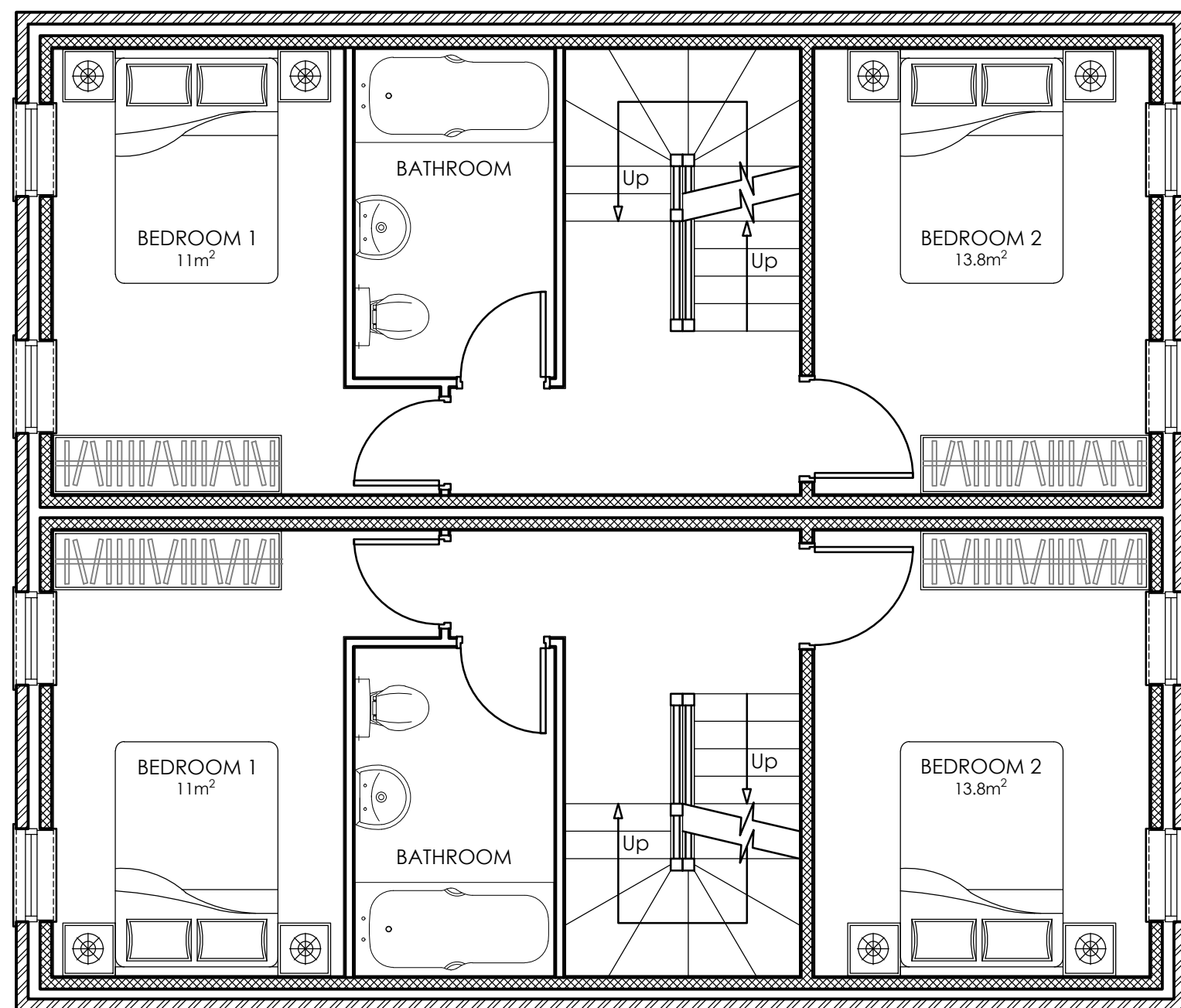
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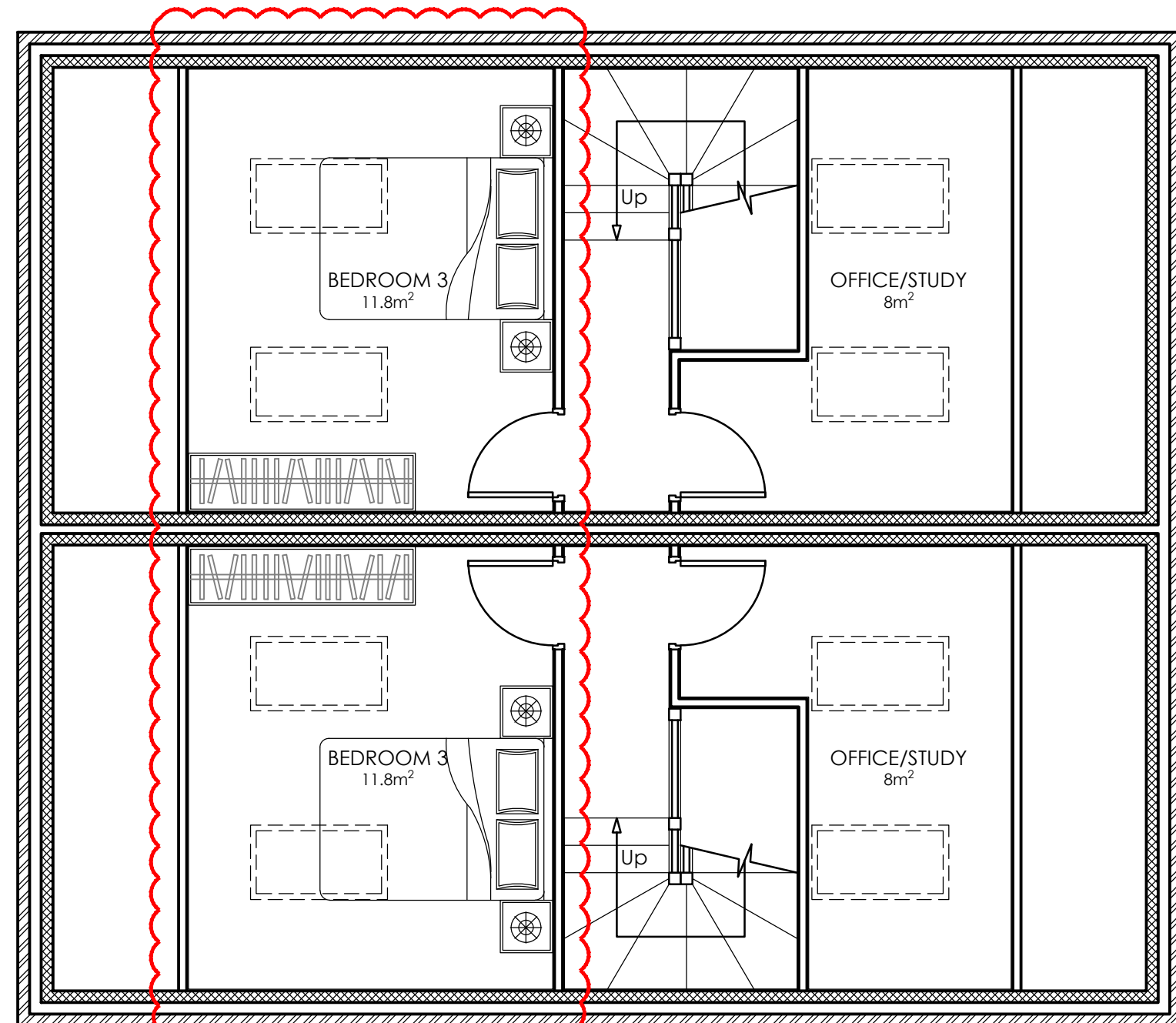
BASEMENT FLOOR PLAN - PLOTS 1 & 2



GROUND FLOOR PLAN - PLOTS 1 & 2



FIRST FLOOR PLAN - PLOTS 1 & 2



SECOND FLOOR PLAN - PLOTS 1 & 2



D	03/01/2019	Drawn: CDR	Check: -
Entrance area recessed. Second floor amended.			
C	15/11/2018	Drawn: PJA	Check: -
Alterations following omission of Garages			
B	14/09/2018	Drawn: CDR	Check: -
Proposed scheme revised.			
A	16/08/2018	Drawn: CDR	Check: -
Store room on Second floor revised. Garage increased in size.			

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DRAWN:	CDR	CHECK:	-
PROJECT			
Proposed Residential Development, Alton Street Crewe, CW2 7PU			
DRAWING			
Proposed GA Plans Plots 1 & 2			
SCALE	DATE		
1:50 @ A1	16/07/2018		
REF	NUMBER	REV	
1261	17	D	

SECOND FLOOR FFL  
50.425

FIRST FLOOR FFL  
47.875

GROUND FLOOR FFL  
44.950

BASEMENT FLOOR FFL  
42.035

FRONT ELEVATION - PLOTS 1 & 2

REAR ELEVATION - PLOTS 1 & 2

SECOND FLOOR FFL  
50.425

FIRST FLOOR FFL  
47.875

GROUND FLOOR FFL  
44.950

BASEMENT FLOOR FFL  
42.035

SIDE ELEVATION - PLOTS 1 & 2

Opaque window to basement level

0  
Metres

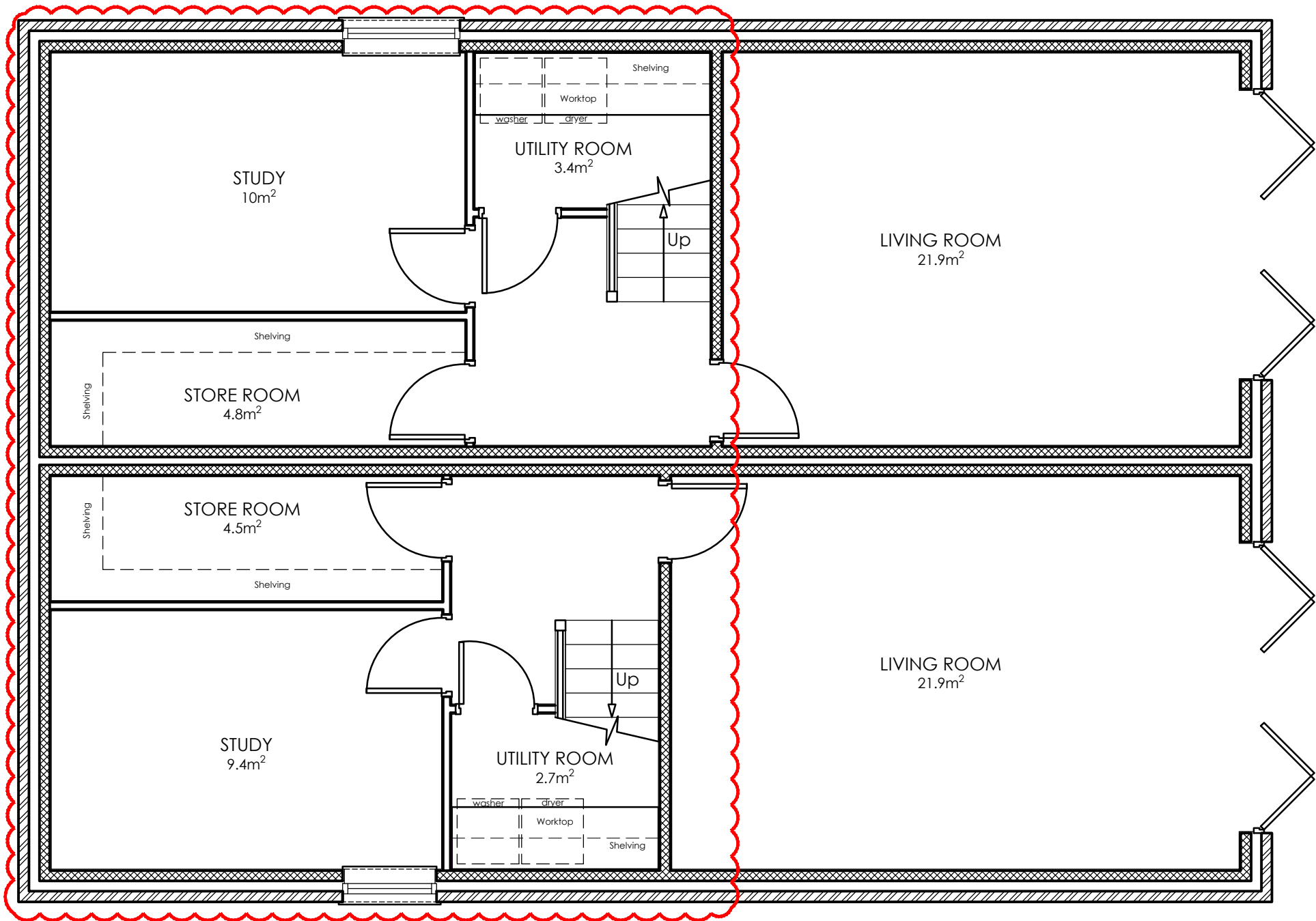
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D	03/01/2019	Drawn: CDR	Check: -
Archways and windows above entrance doors added. Window to Study on Basement level increased in size.			
C	15/11/2018	Drawn: PJA	Check: -
Elevations revised to suit smaller building depth.			
B	14/09/2018	Drawn: CDR	Check: -
Proposed scheme revised.			
A	16/08/2018	Drawn: CDR	Check: -
Low wall and metal railings to side elevation revised.			

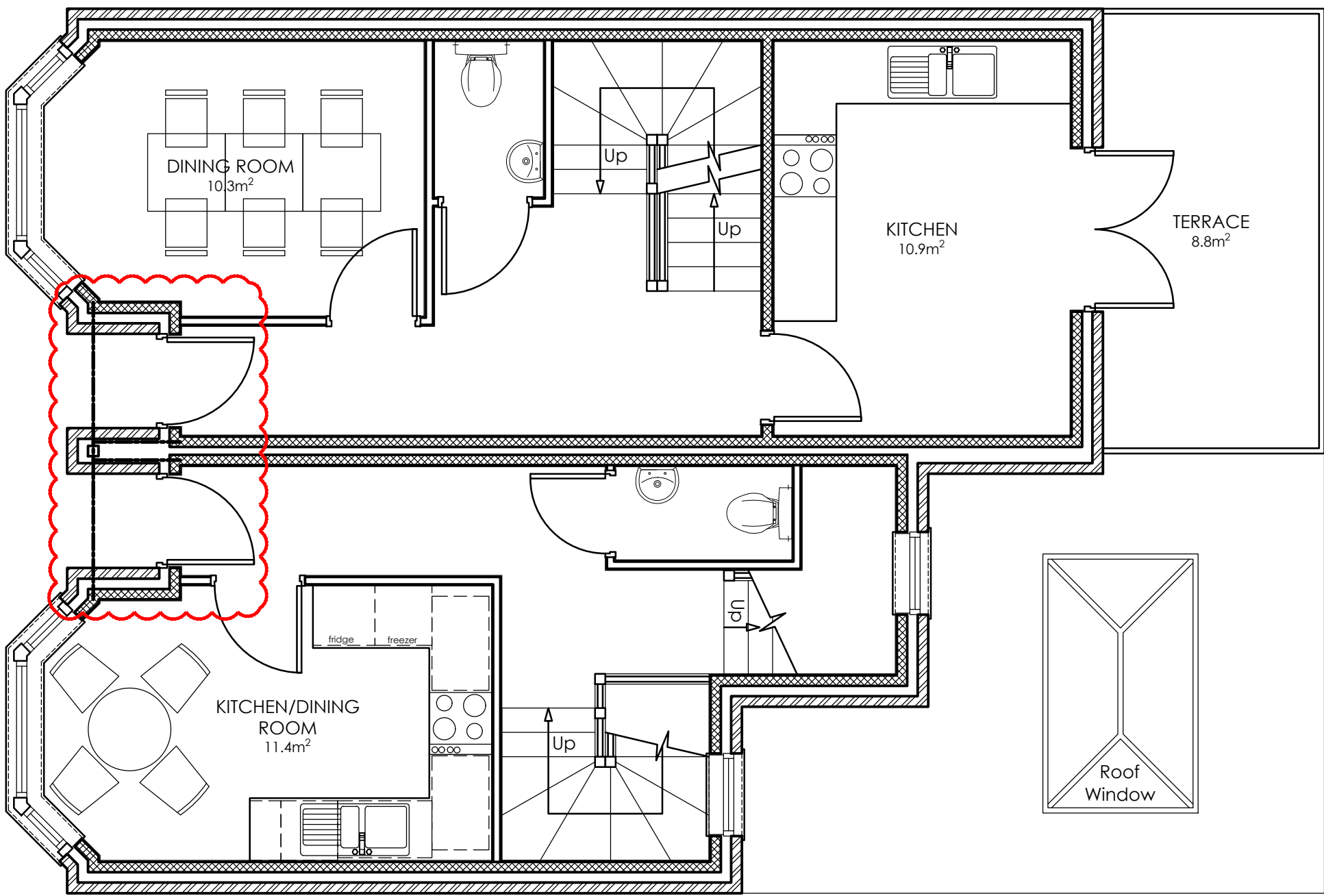
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DRAWN:	CDR	CHECK:	-
PROJECT			
Proposed Residential Development, Alton Street Crewe, CW2 7PU			
DRAWINGS			
Proposed Elevations Plots 1 & 2			
SCALE		DATE	
1:50@A1		16/07/2018	
REF	NUMBER	REV	
1261	16	D	

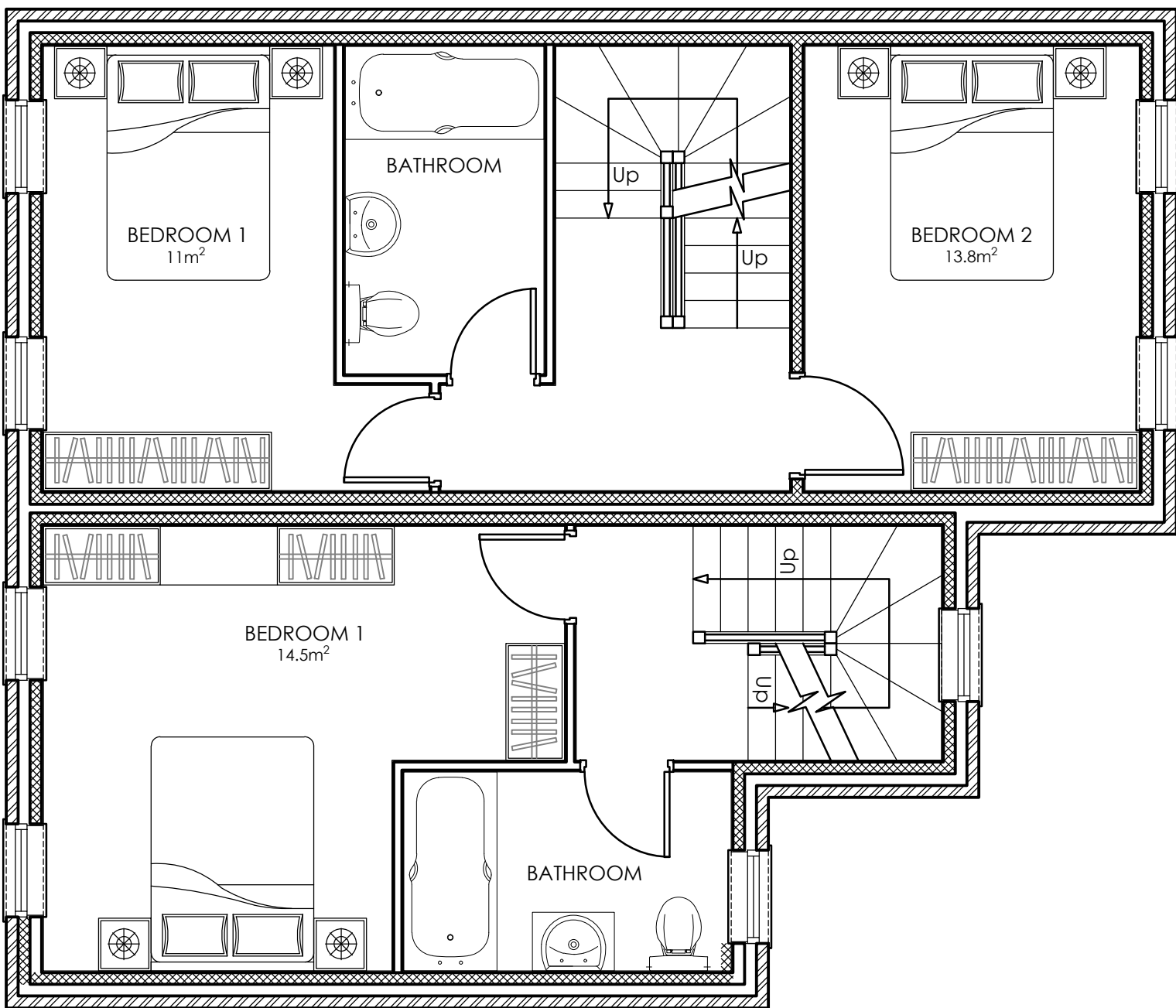




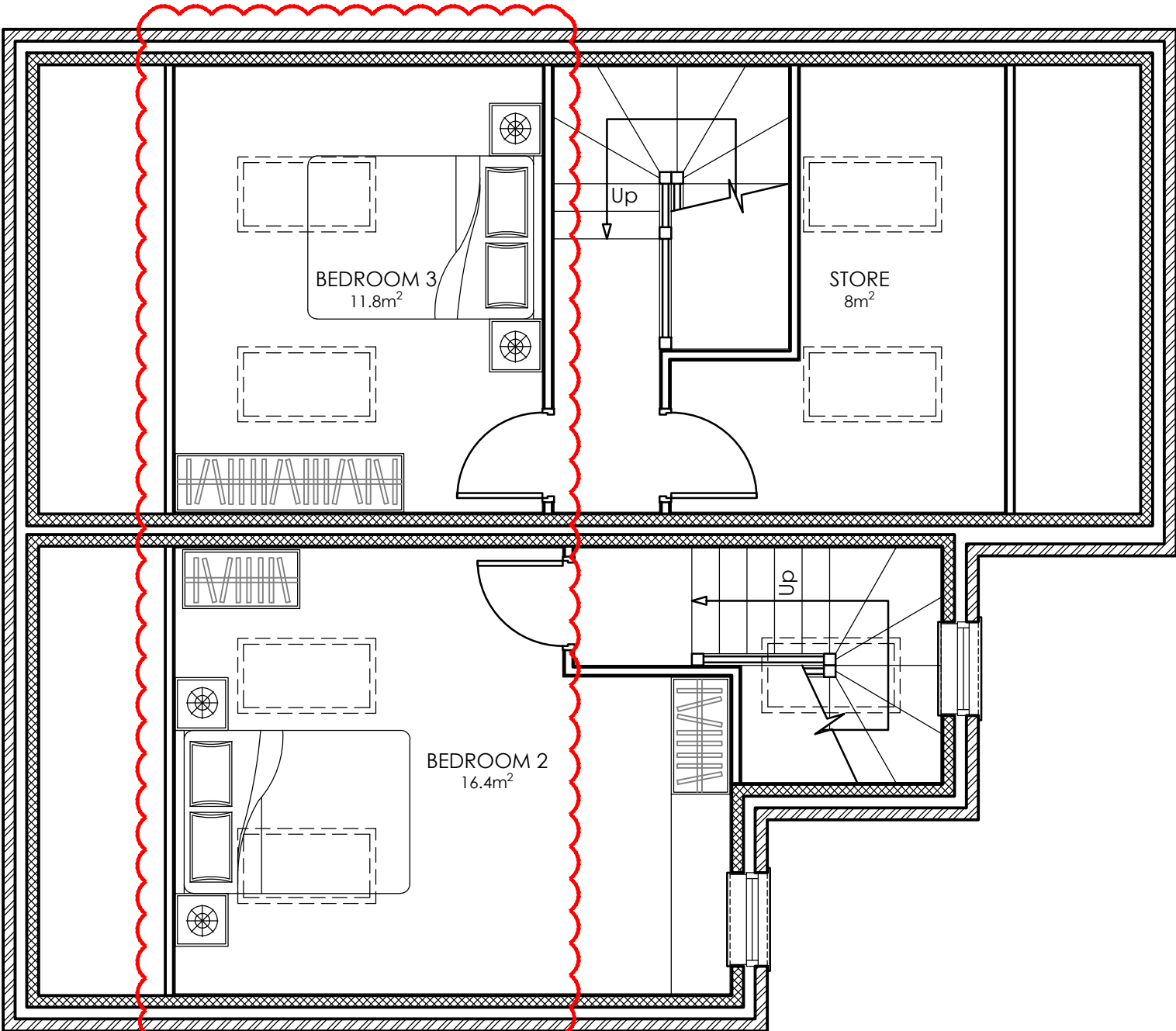
BASEMENT FLOOR PLANS - PLOTS 3 & 4



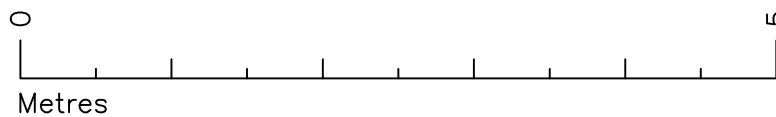
GROUND FLOOR PLAN - PLOTS 3 & 4



FIRST FLOOR PLAN - PLOTS 3 & 4



SECOND FLOOR PLAN - PLOTS 3 & 4



B	03/01/2019	Drawn: CDR	Check: -
Entrance area recessed. Second floor amended.			
A	15/11/2018	Drawn: PJA	Check: -
Alterations following omission of garages.			

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DRAWN: CDR	CHECK: -
PROJECT	
Proposed Residential Development, Alton Street Crewe, CW2 7PU	
DRAWINGS	
Proposed GA Plans Plots 3 & 4	
SCALE 1:50 @ A1	DATE 16/07/2018
REF 1261	NUMBER 21
REV B	

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SECOND FLOOR FFL  
50.425

FIRST FLOOR FFL  
47.875

GROUND FLOOR FFL  
44.950

BASEMENT FLOOR FFL  
42.035

FRONT ELEVATION - PLOTS 3 & 4

REAR ELEVATION - PLOTS 3 & 4

SECOND FLOOR FFL  
50.425

FIRST FLOOR FFL  
47.875

GROUND FLOOR FFL  
44.950

BASEMENT FLOOR FFL  
42.035

SIDE ELEVATION - PLOTS 3 & 4

Opaque window to basement level

0 5.0  
Metres

B	04/01/2019	Drawn: CDR	Check: -
Archways and windows above entrance doors added. Window to Study on Basement level increased in size.			
A	15/11/2018	Drawn: PJA	Check: -
Garage Omitted			

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DRAWN: CDR	CHECK: -
PROJECT Proposed Residential Development, Alton Street Crewe, CW2 7PU	
DRAWINGS Proposed Elevations Plots 3 & 4	
SCALE 1:50@A1	DATE 16/07/2018
REF 1261	NUMBER 20
REV B	