


22/1412N

LAND OFF, SYDNEY ROAD,
CREWE



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Site Location Plan



Notes

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 Site Boundary

A	Planning Issue	28.10.21	SK
-	Initial Issue	15.10.21	SK
Rev	Description	Date	By



j d a architects

info@jda-architects.com
www.jda-architects.com

manchester: 0161 336 5011
liverpool: 0151 665 0112

Client:	Anwyl Partnerships			
Project:	Sydney Road, Crewe			
Project Status:	PL - Planning			
Scale:	@ Original Size	Date:	Drawn By:	Checked By:
1:1250	A4	Sept 2021	SK	KOR

Project Number	Drawing Number	
1231	A	DR 001
Description	Rev	
Site Location Plan	A	

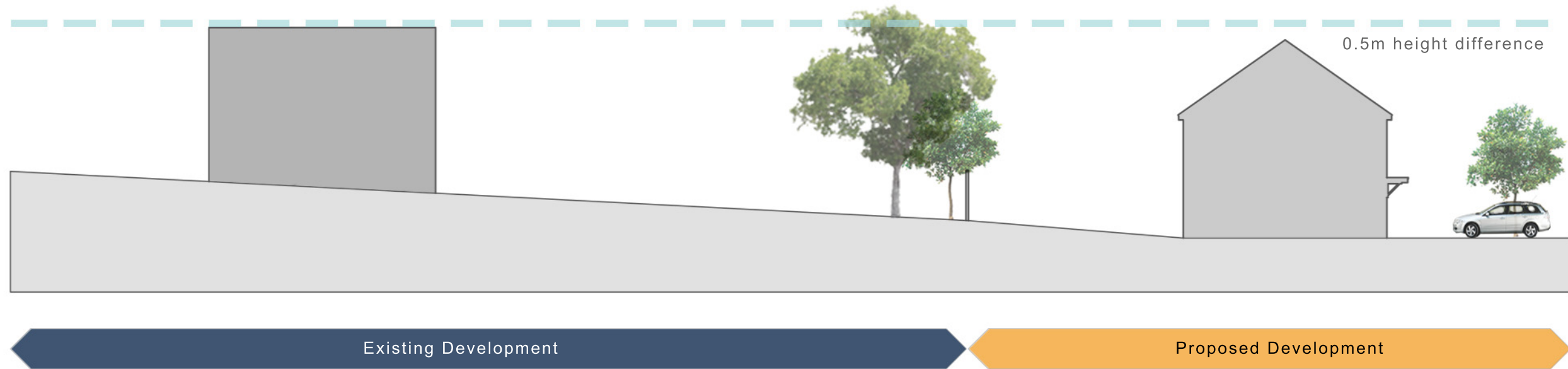


Z:\1231 - Sydney Road, Crewe\Drawings\Live\plots\1231_A_DR_001 SiteLocationPlan.dwg

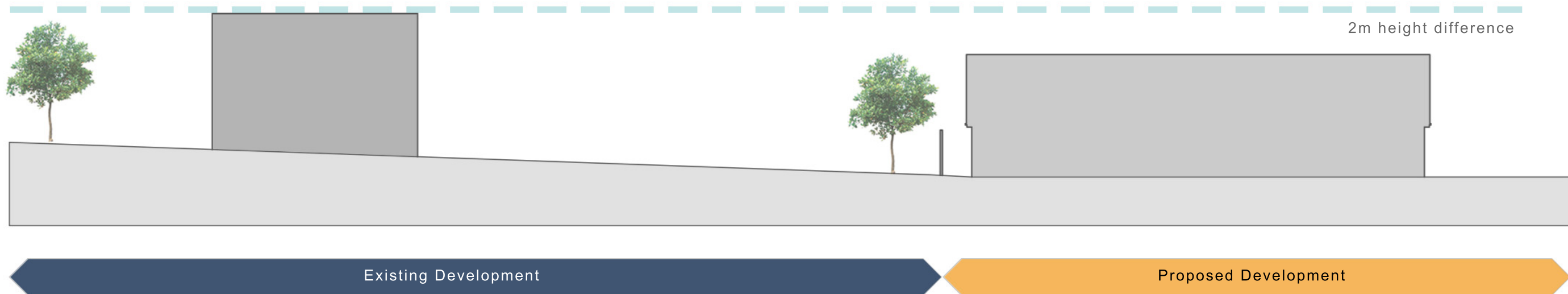


Accommodation Schedule			
	14 No.	2B House	31%
	12 No.	3B Semi Deatched House	27%
	16 No.	1B Walk Up	36%
	3 No.	1B Bungalow	7%
	45 No.	Total Units	100%
	73 No.	Parking Spaces	162%
	1.1 Ha	Site Area	
	41 No.	Dwellings per hectare	

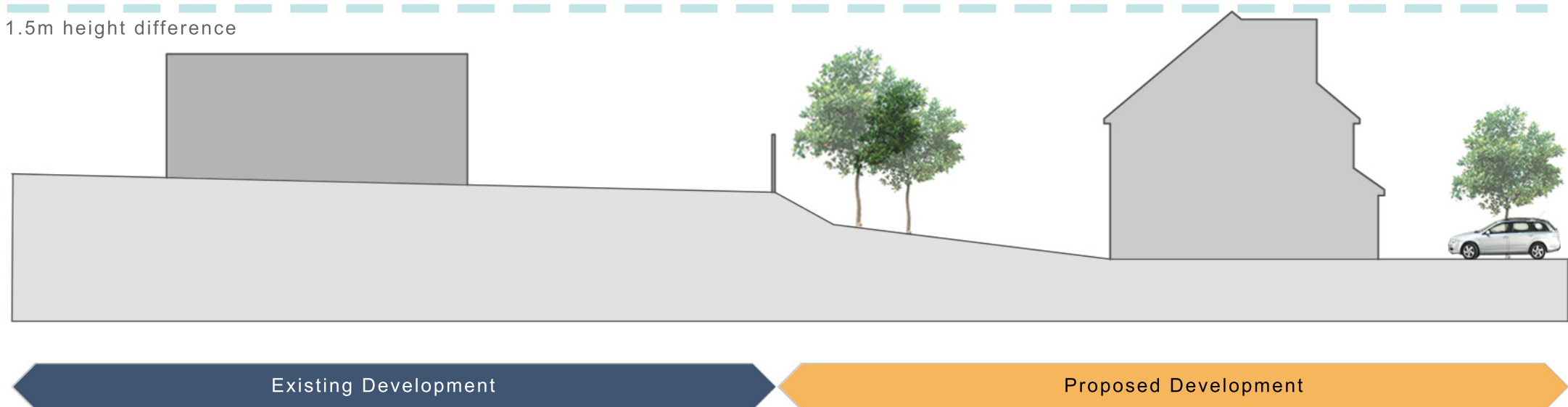
Cheshire East Open Space Requirement: 20sqm/dwelling.
Total Public Open Space Proposed - 909 Sqm
Public Open Space per dwelling - 909 Sqm/45 Units = 20.2 Sqm



Section A-A
1:200



Section B-B
1:200



Section C-C
1:200



Section D-D
1:200



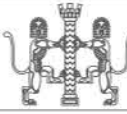
Key Plan
1:500

P01 Initial Issue		25.01.23	SK	KOR
Rev	Description	Date	By	Chk

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www.jda-architects.com

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liverpool: 0151 665 0112

Client:		Anwyl Partnerships		
Project:		Sydney Road, Crewe		
Project Status:		PL - Planning		
Scale:	@ original size	Date:	Drawn by:	Checked By:
Varies	A1	January 2023	SK	KOR
Project Number		Drawing Number		
1231		A	DR	300
Description				Rev
Site Sections				P01



Notes

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MATERIAL SPECIFICATION

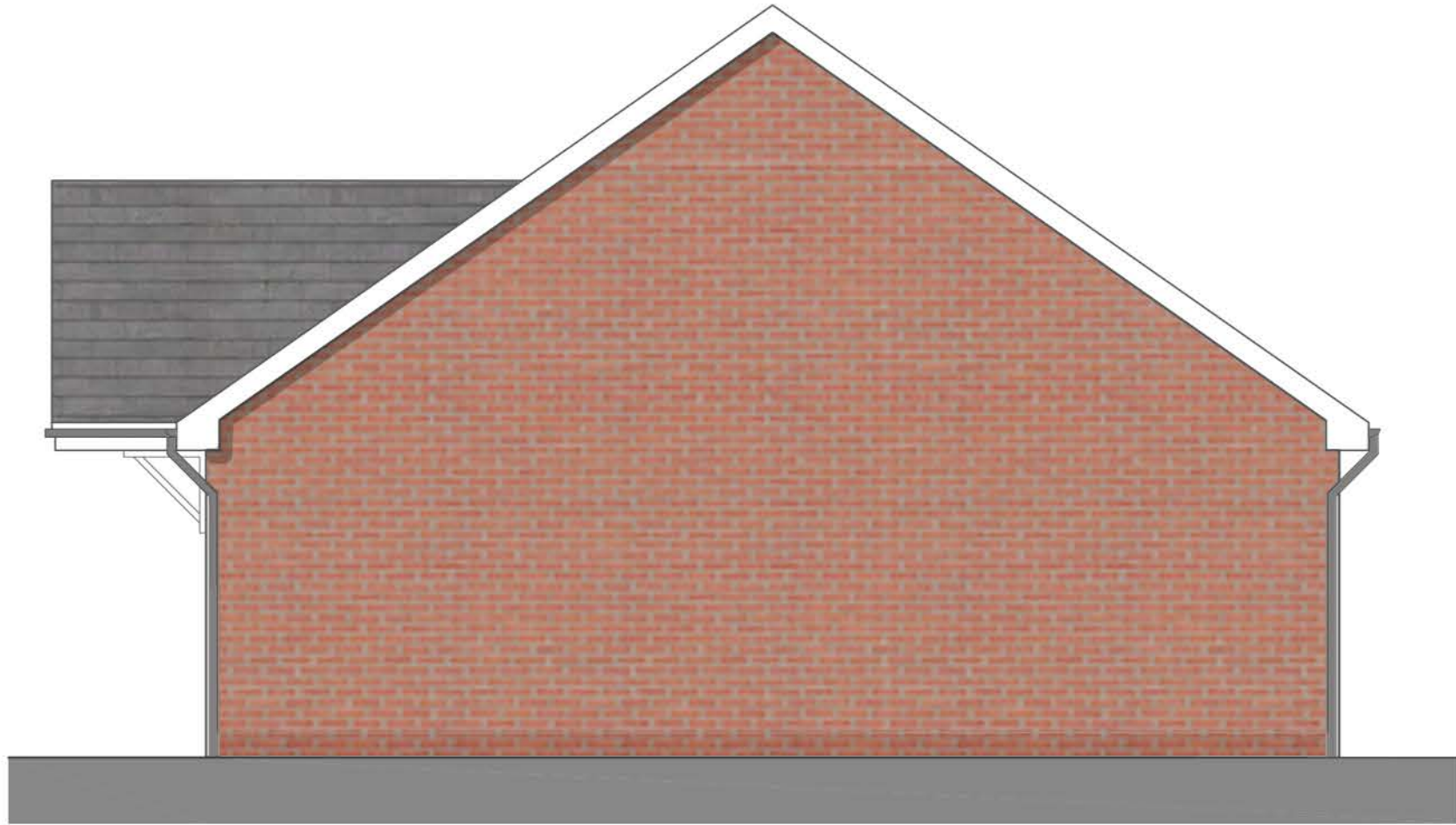
1. Roof Tile
2. Continuous Dry Verge
3. UPVC Gutter & Downpipe
4. UPVC Windows
5. Red Facing Brickwork
6. Soldier Course
7. Contrasting Buff Facing Brick
8. Composite Entrance Door
9. Red Engineering Brickwork
10. UPVC Doors



Ground Floor General Arrangement Plan



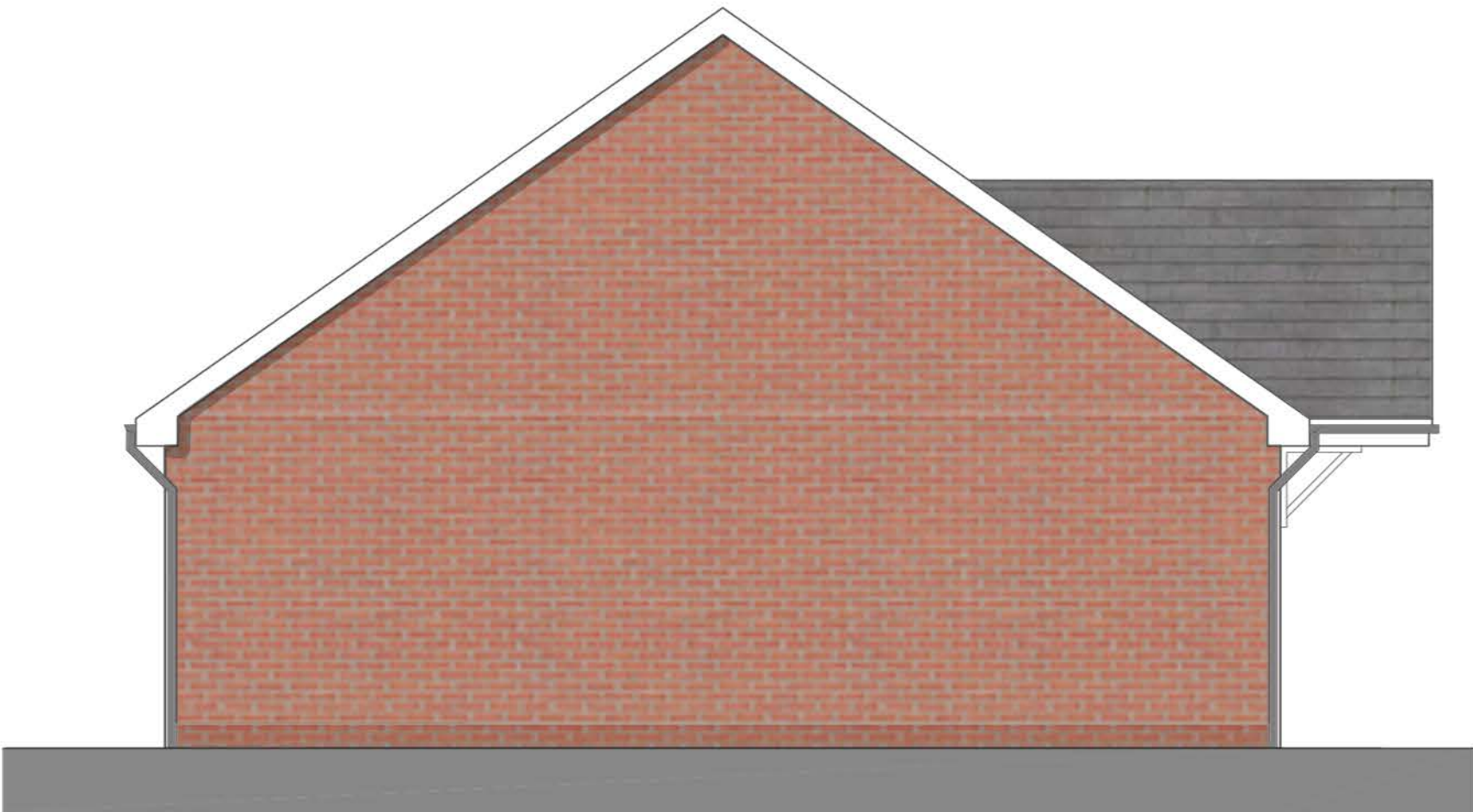
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

1 Bed Bungalow Terrace
53sqm (570sqft) M4(3)

D	Layout amended to achieve Part M4(3)	02.12.22	SK
C	Layout amended to meet 100% NDSS	18.07.22	ABH
B	Planning Issue	28.10.21	SK
A	Larger canopy added and materials amended.	12.10.21	SK
-	Initial Issue	08.10.21	SK
Rev	Description	Date	By

jda architects

info@jda-architects.com
www.jda-architects.com

manchester: 0161 336 5011
liverpool: 0151 665 0112

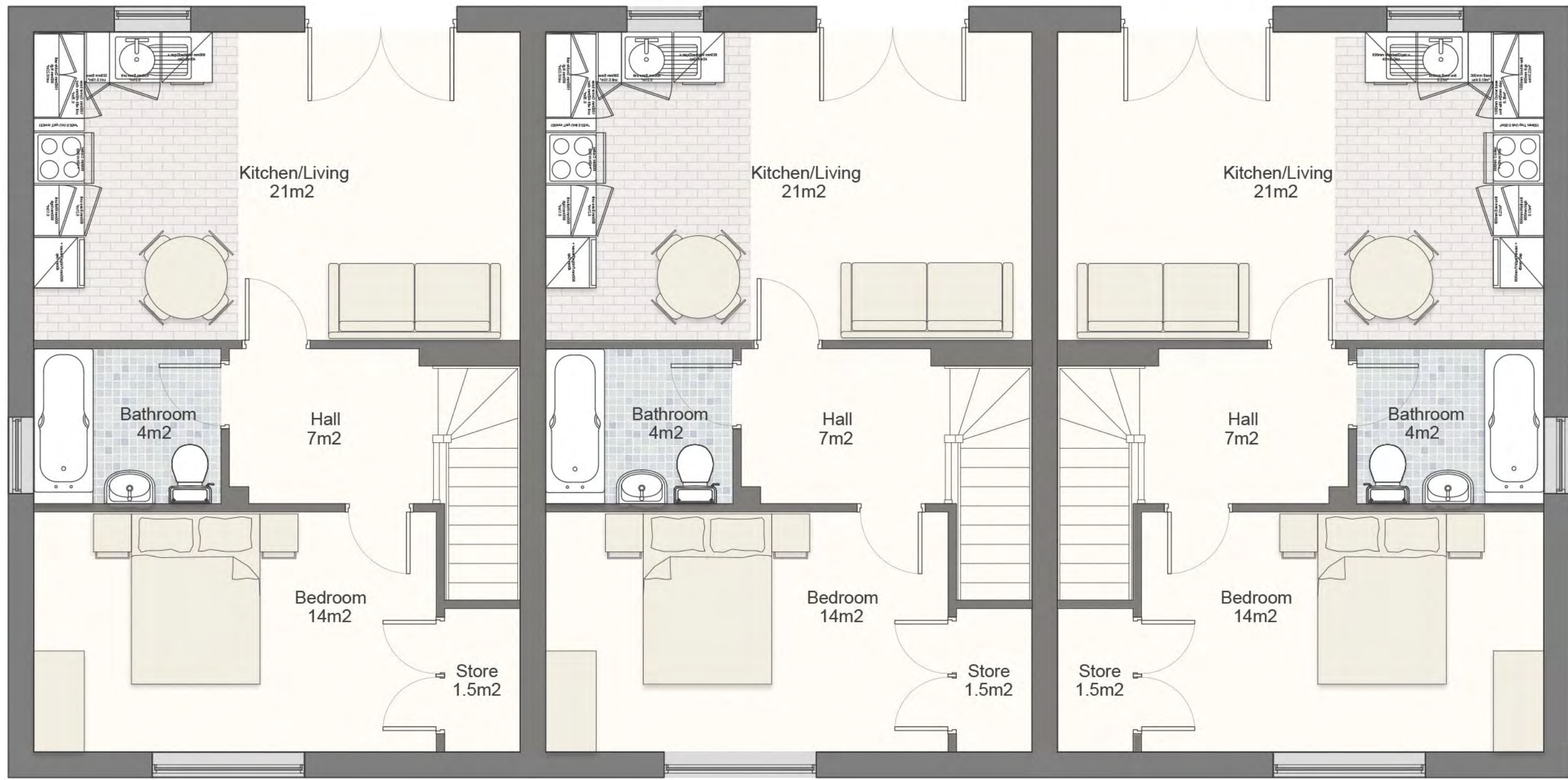
Client:	Anwyl Partnerships		
Project:	Sydney Road, Crewe		
Project Status:	PL - Planning		
Scale:	@ original size	Date:	Drawn by:
1:50	A1	Oct 2021	SK
Checked By:	KOR		
Project Number	Drawing Number		
1231	A	DR	200
Description	1B2P Bungalow General Arrangement Plans & Elevations		
			Rev
			D

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Z:\1231 - Sydney Road, Crewe\Drawings\1231_A_DR_200 1B Bungalow GAs.dwg

MATERIAL SPECIFICATION

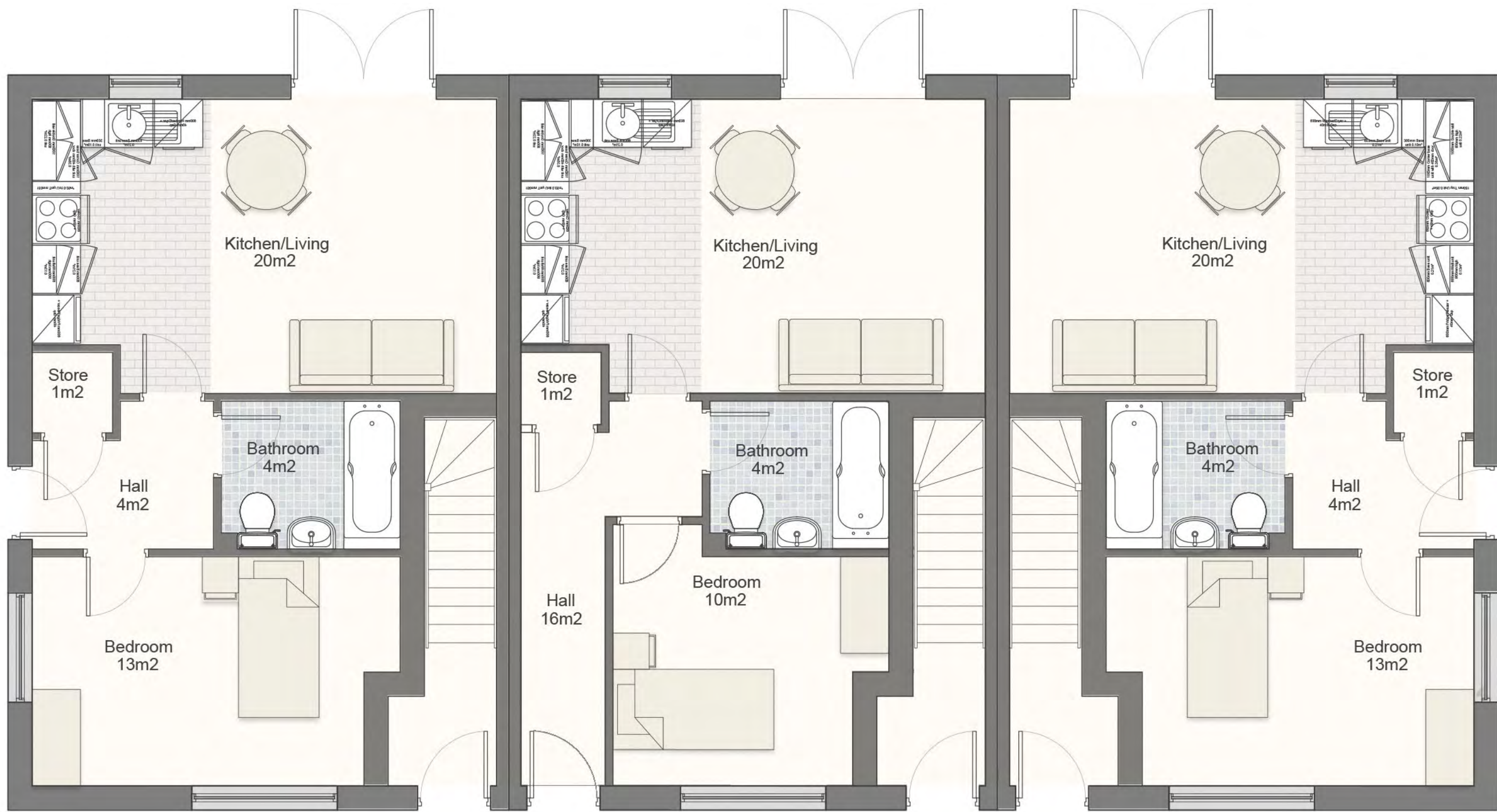
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2. Continuous Dry Verge
3. UPVC Gutter & Downpipe
4. UPVC Windows
5. Red Facing Brickwork
6. Soldier Course
7. Contrasting Buff Facing Brick
8. Composite Entrance Door
9. Red Engineering Brickwork
10. UPVC Doors



First Floor General Arrangement Plan



Front Elevation



Ground Floor General Arrangement Plan



Rear Elevation



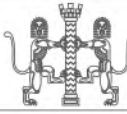
Side Elevation

1 Bed Walk Up - 6 Unit Terrace
45/51sqm (484/549sqft)

Rev	Description	Date	By
C	Layout amended to meet 100% NDSS	12.07.22	ABH
B	Planning Issue	28.10.21	SK
A	Cable feature added and materials amended	13.10.21	SMH
-	Initial Issue	08.10.21	SK



Client		Anvyl Partnerships		
Project		Sydney Road, Crewe		
Project Status		PL - Planning		
Scale: 1:50	@ Original Size A0	Date: Oct 2021	Drawn By: SK	Checked By: KOR
Project Number		Drawing Number		
1231		DR		201
Description				Rev
102P Walk Up Apartment, 6 Unit				C
General Arrangement Plans & Elevations				

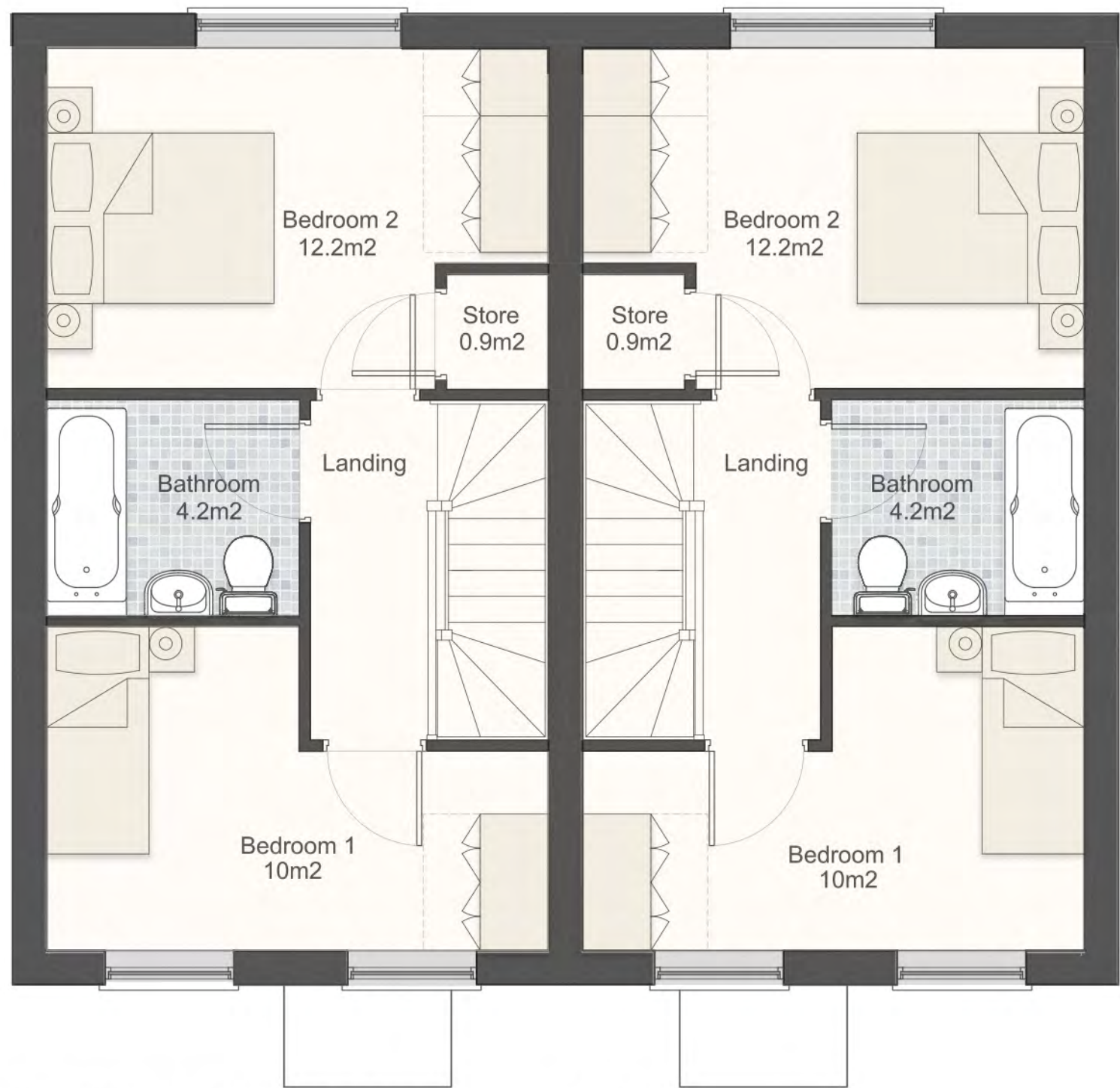


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MATERIAL SPECIFICATION

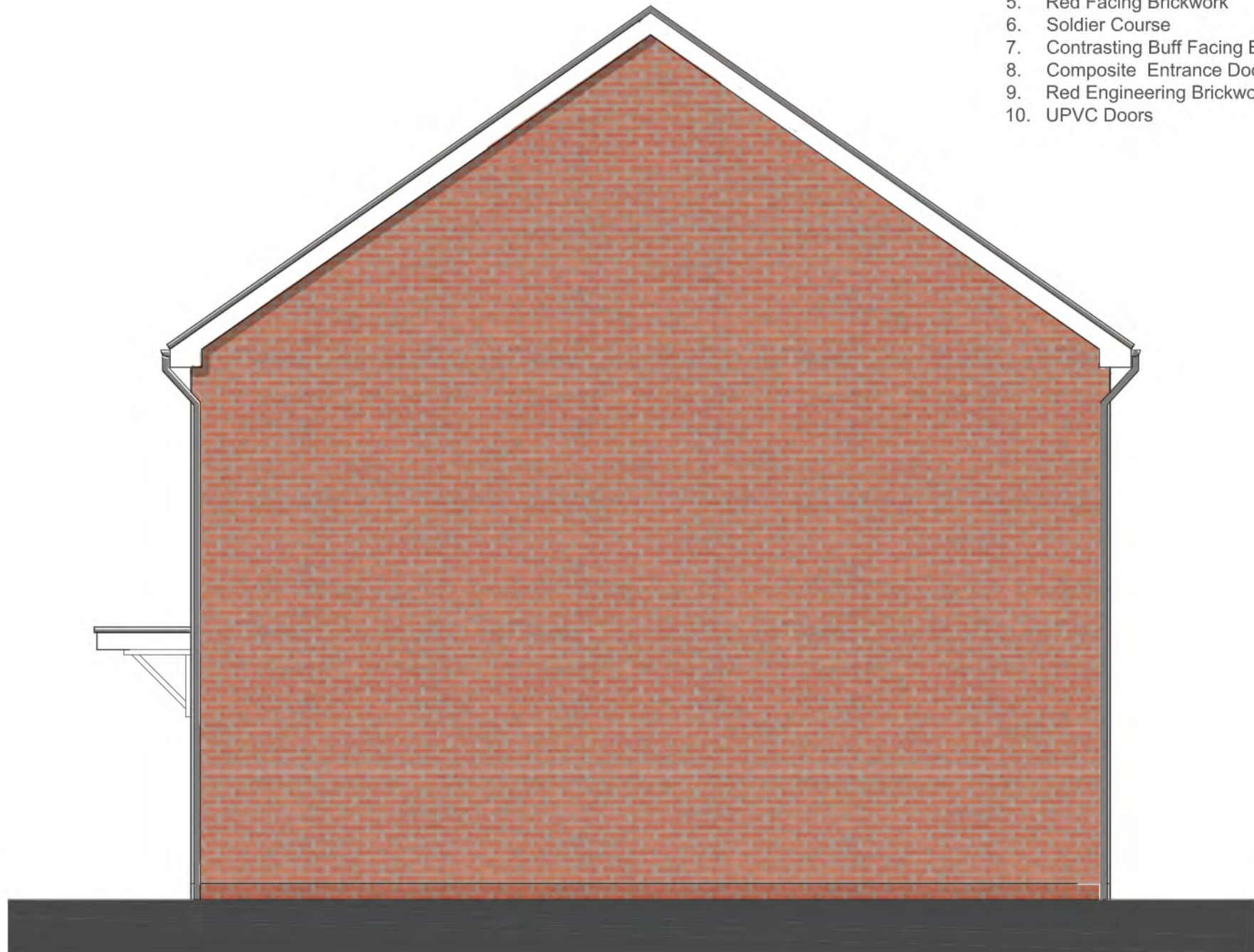
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2. Continuous Dry Verge
3. UPVC Gutter & Downpipe
4. UPVC Windows
5. Red Facing Brickwork
6. Soldier Course
7. Contrasting Buff Facing Brick
8. Composite Entrance Door
9. Red Engineering Brickwork
10. UPVC Doors



First Floor General Arrangement Plan



Front Elevation



Side Elevation



Ground Floor General Arrangement Plan



Rear Elevation

2 Bed Semi-Detached House
70sqm (753sqft) M4(2)

D	Layout amended to achieve Part M4(2)	02.12.22	SK
C	Layout amended to meet 100% NDSS	18.07.22	ABH
B	Planning Issue	28.10.21	SK
A	Materials and front elevation windows amended	12.10.21	SK
-	Initial Issue	08.10.21	SK
Rev	Description	Date	By

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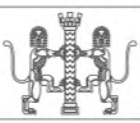
info@jda-architects.com
www.jda-architects.com

manchester: 0161 336 5011
liverpool: 0151 665 0112

Client:		Anwyl Partnerships					
Project:		Sydney Road, Crewe					
Project Status:		PL - Planning					
Scale:	@ original size	Date:	Oct 2021	Drawn by:	SK	Checked By:	KOR
1:50	A1						
Project Number		Drawing Number					
1231		A		DR		203	
Description							
2B Semi-detached House							
General Arrangement Plans & Elevations							
							Rev
							D

0 1000mm 1:50

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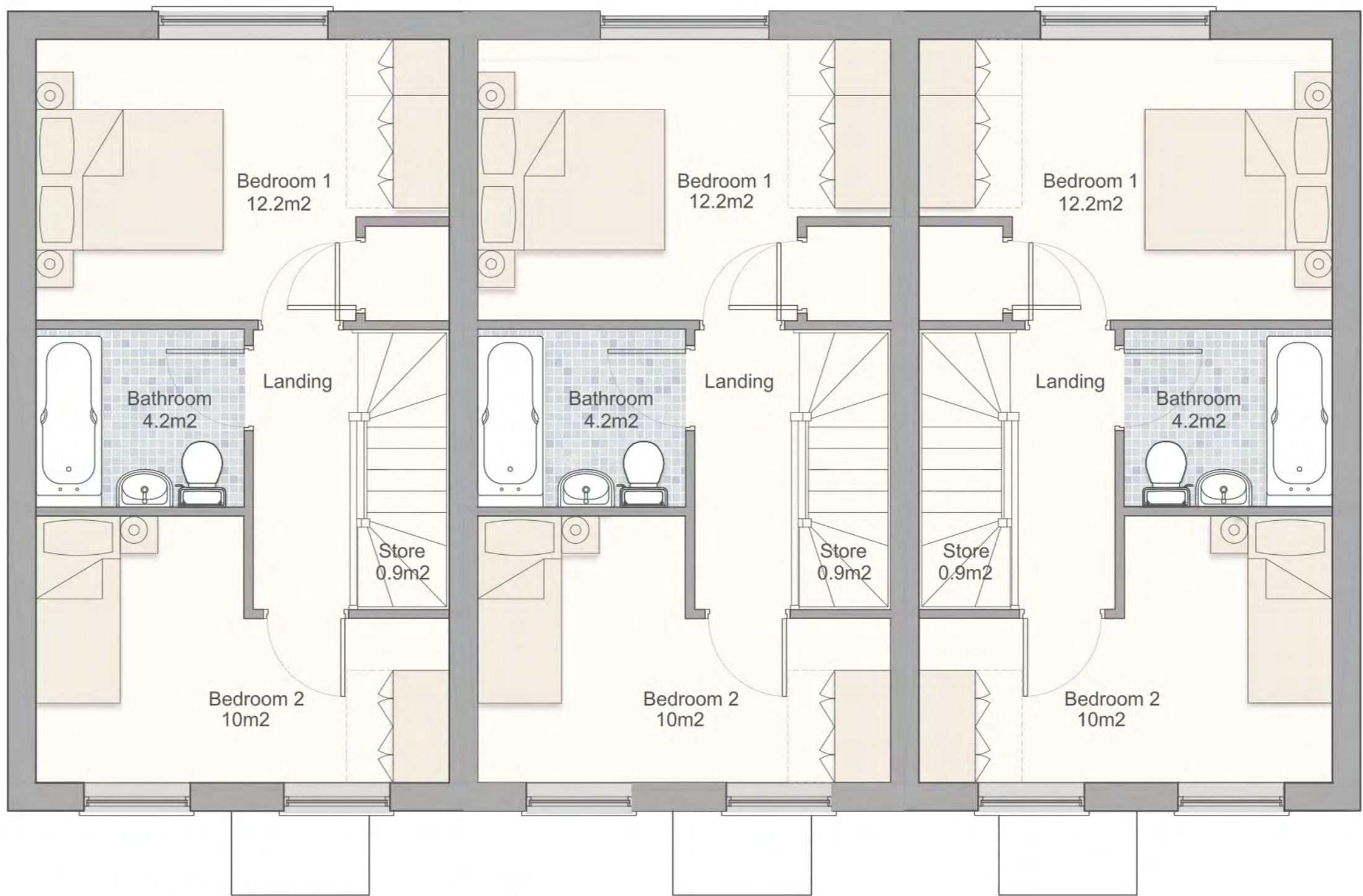


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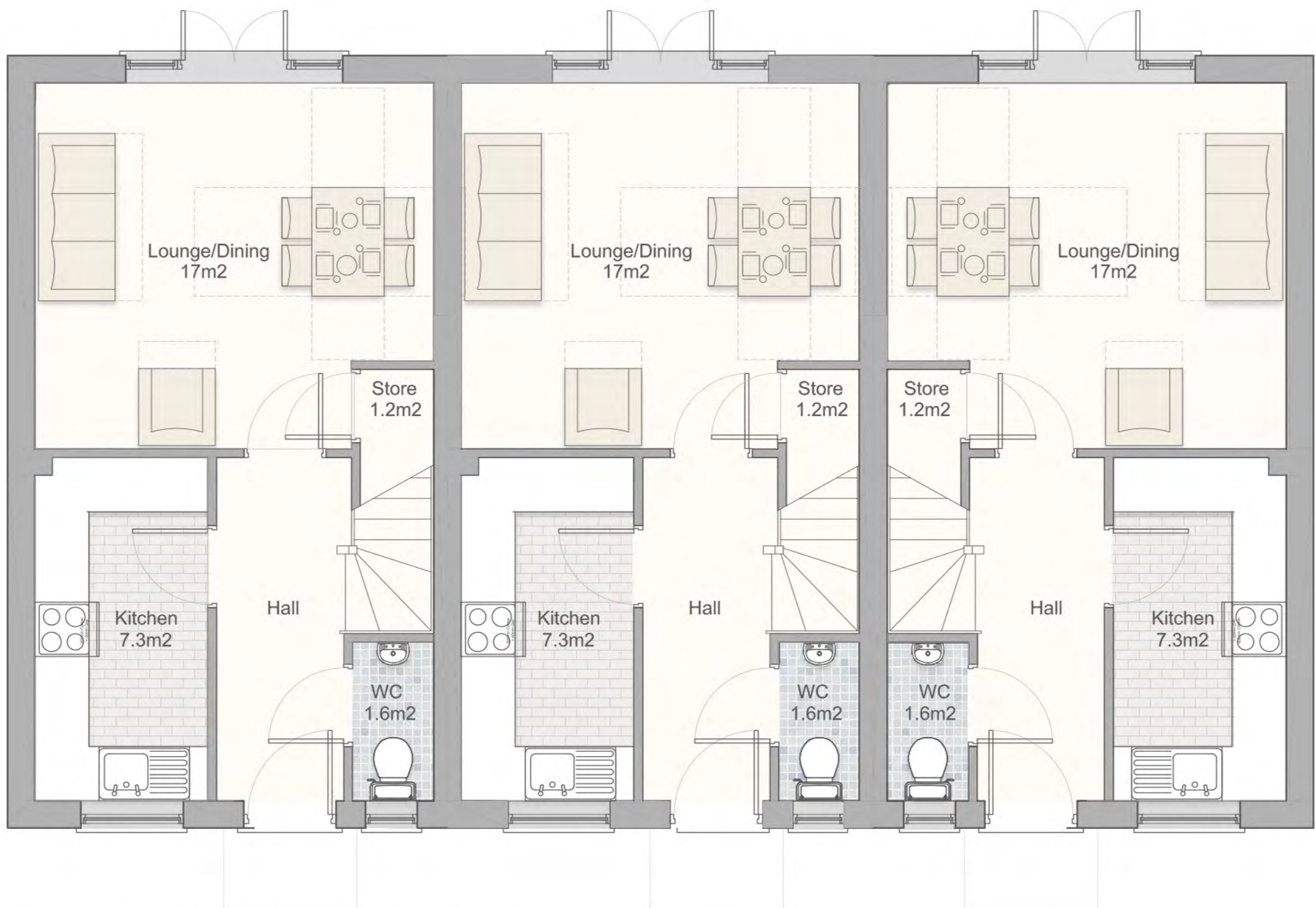
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2. Continuous Dry Verge
3. UPVC Gutter & Downpipe
4. UPVC Windows
5. Red Facing Brickwork
6. Soldier Course
7. Contrasting Buff Facing Brick
8. Composite Entrance Door
9. Red Engineering Brickwork
10. UPVC Doors



First Floor General Arrangement Plan



Front Elevation



Ground Floor General Arrangement Plan



Rear Elevation

2 Bed Terraced House
70sqm (753sqft) M4(2)

D	Layout amended to achieve Part M4(2)	02.12.22	SK
C	Layout amended to meet 100% NDSS	18.07.22	ABH
B	Planning Issue	28.10.21	SK
A	Materials and front elevation windows amended	12.10.21	SK
-	Initial Issue	08.10.21	SK
Rev	Description	Date	By

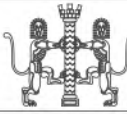
info@jda-architects.com
www.jda-architects.com

manchester: 0161 336 5011
liverpool: 0151 665 0112

Client:		Anwyl Partnerships			
Project:		Sydney Road, Crewe			
Project Status:		PL - Planning			
Scale:	@ original size	Date:	Drawn by:	Checked By:	
1:50	A1	Oct 2021	SK	KOR	
Project Number		Drawing Number			
1231		A	DR	204	
Description					Rev.
2B Terraced House					D
General Arrangement Plans & Elevations					

Scale 1:50

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MATERIAL SPECIFICATION

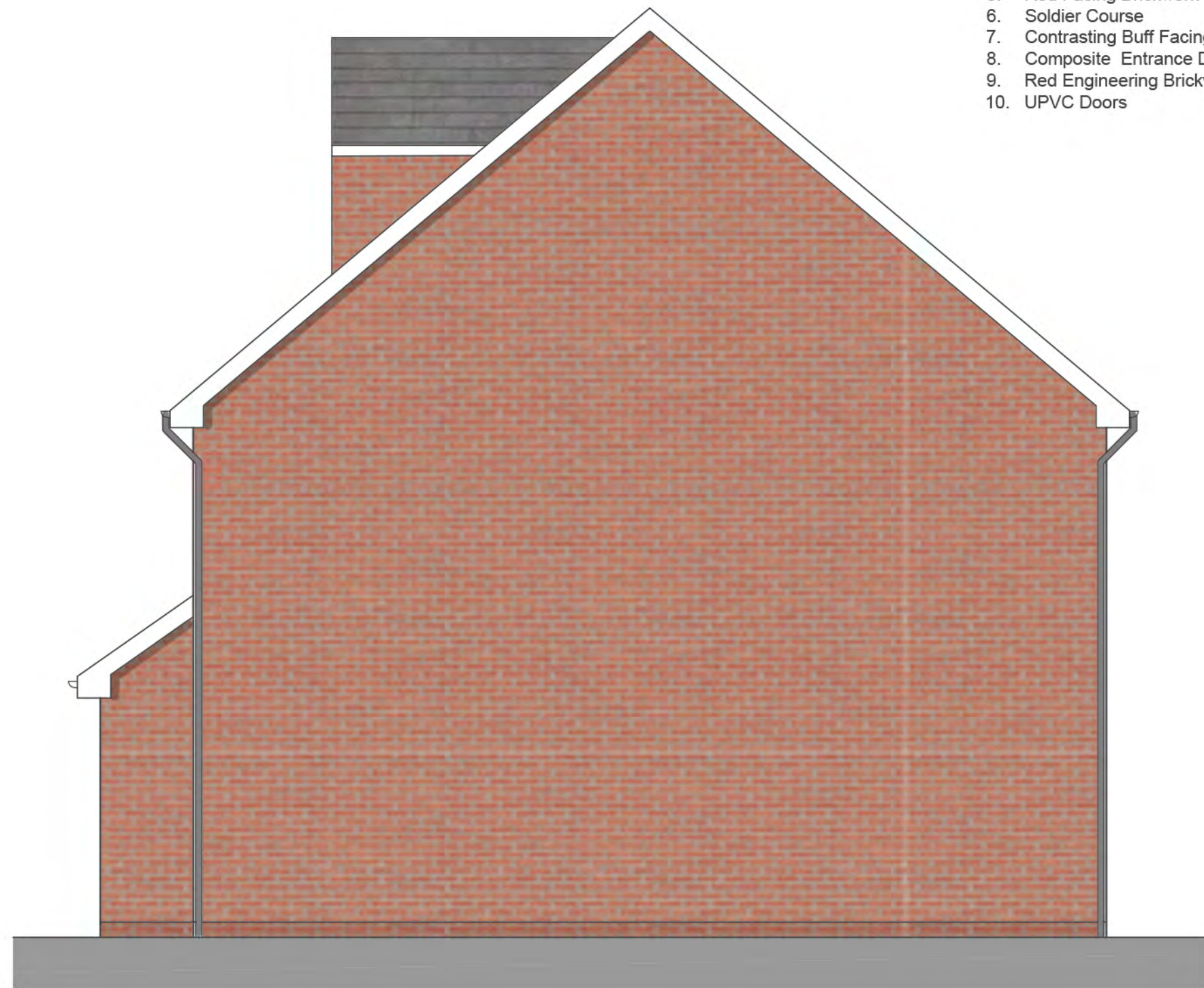
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- 2. Continuous Dry Verge
- 3. UPVC Gutter & Downpipe
- 4. UPVC Windows
- 5. Red Facing Brickwork
- 6. Soldier Course
- 7. Contrasting Buff Facing Brick
- 8. Composite Entrance Door
- 9. Red Engineering Brickwork
- 10. UPVC Doors



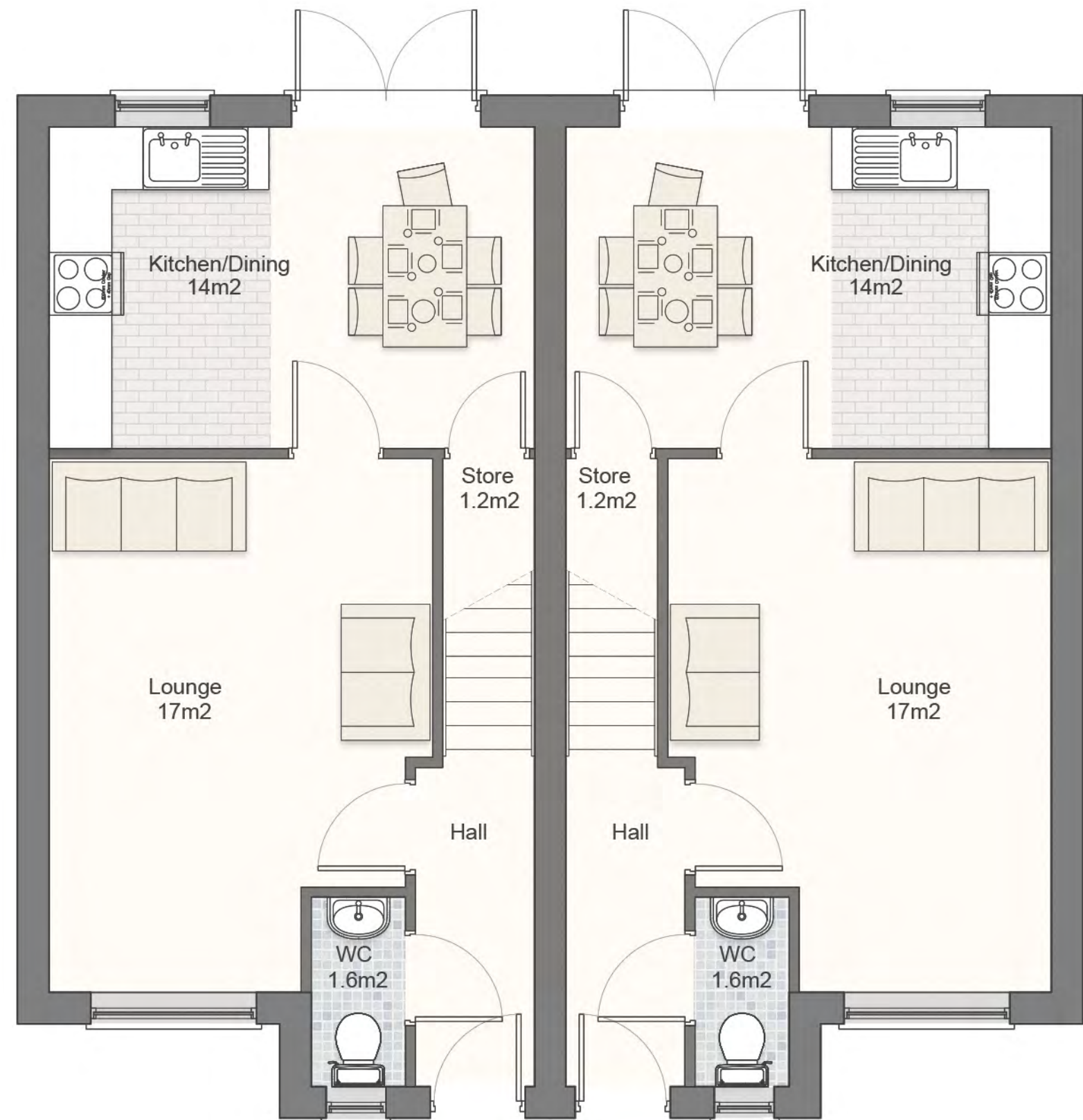
Front Elevation



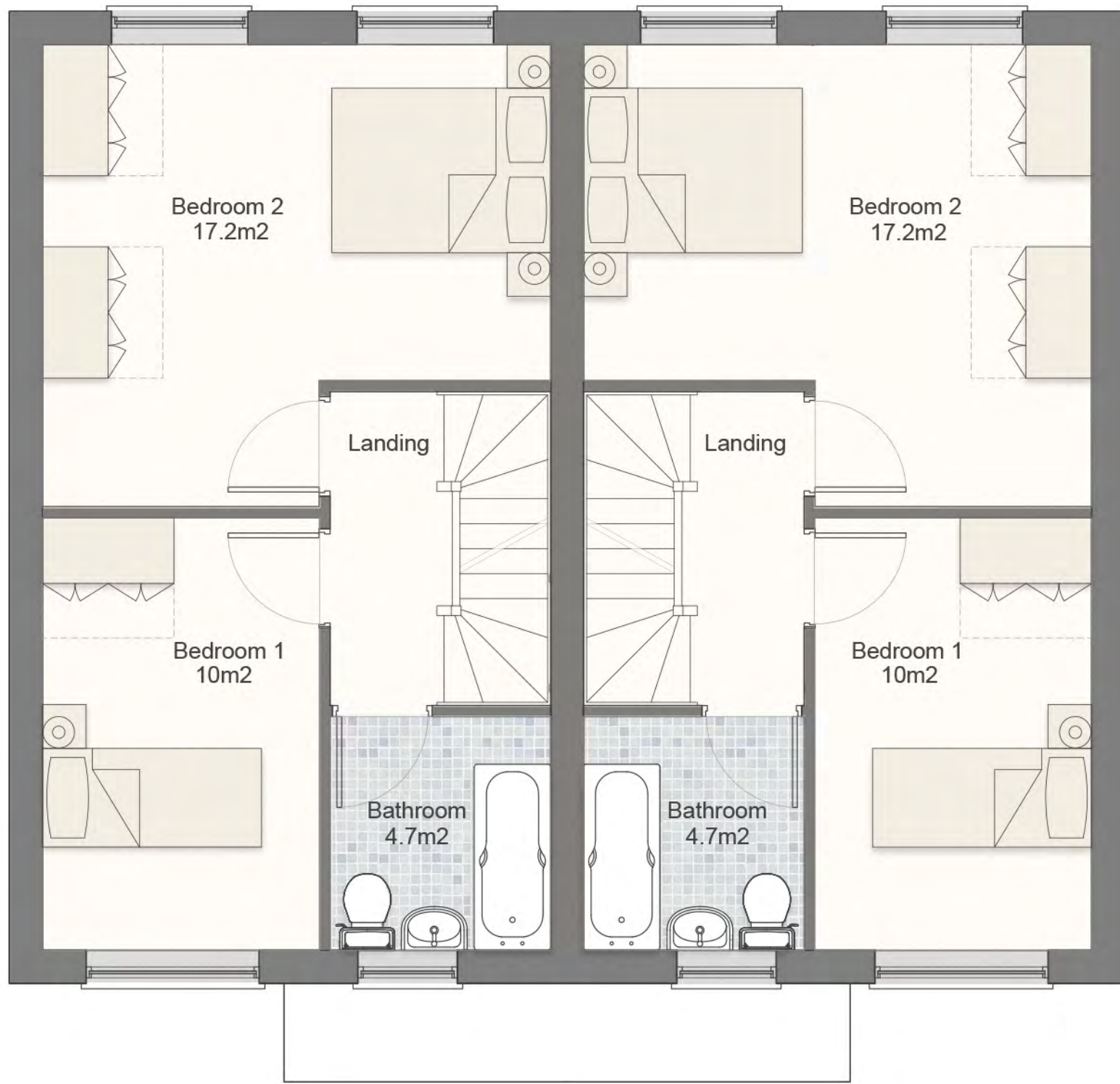
Rear Elevation



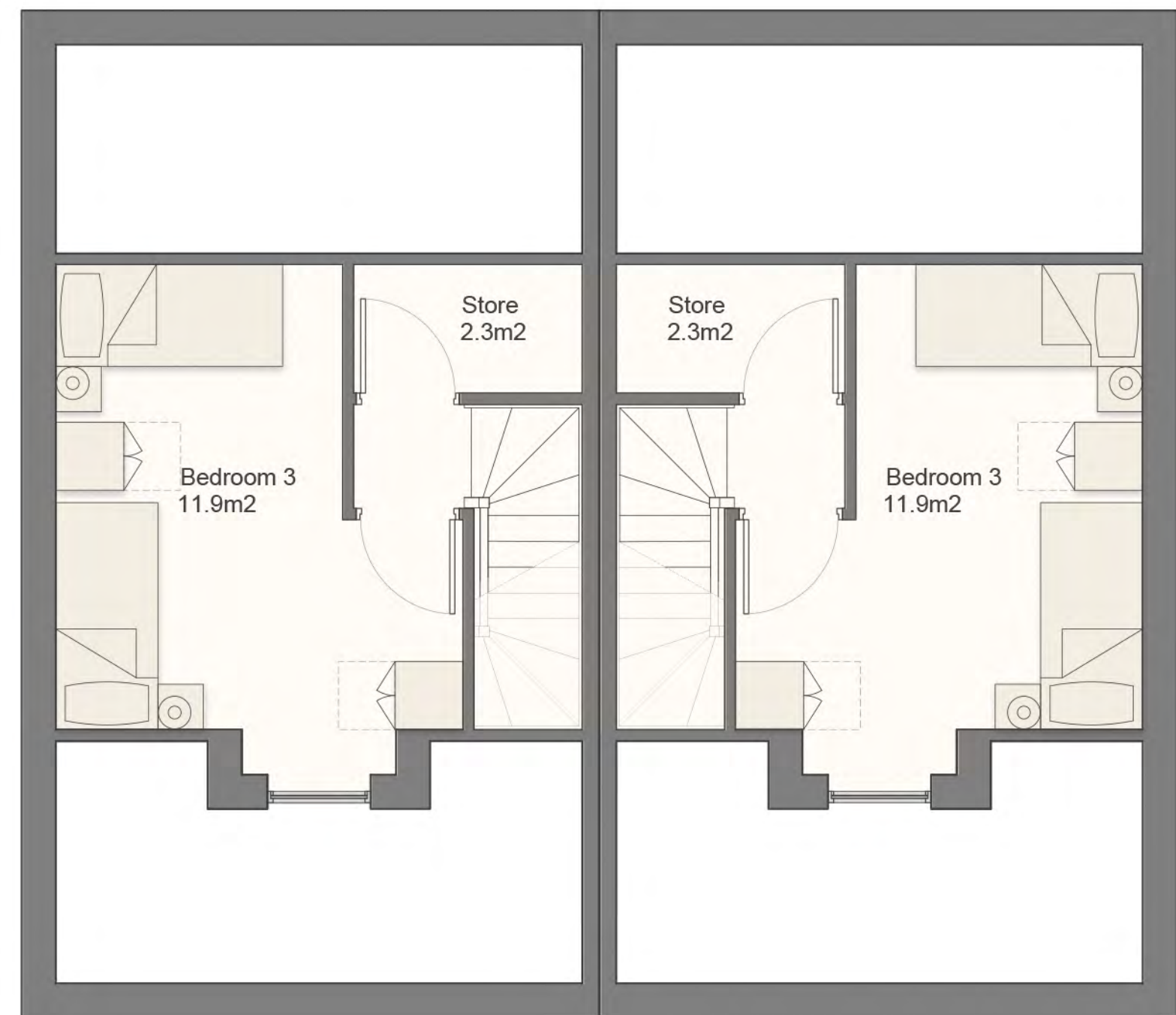
Side Elevation



Ground Floor General Arrangement Plan



First Floor General Arrangement Plan



Second Floor General Arrangement Plan

3 Bed Semi-Detached House
99sqm (1066sqft)

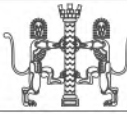
C	Layout amended to meet 100% NDSS	18.07.22	ABH
B	Planning Issue	28.10.21	SK
A	Windows and materials amended.	12.10.21	SK
-	Initial Issue	08.10.21	SK
Rev	Description	Date	By

jda architects

info@jda-architects.com
www.jda-architects.com

manchester 0161 336 5011
liverpool 0151 665 0112

Client		Anwyll Partnerships			
Project		Sydney Road, Crewe			
Project Status		PL - Planning			
Scale	@ original size	Date	Drawn by	Checked by	
1:50	A1	Oct 2021	SK	KOR	
Project Number		Drawing Number			
1231		A	DR	205	
Description		Rev			
3B Semi-Detached House		C			
General Arrangement Plans & Elevations					



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MATERIAL SPECIFICATION

1. Roof Tile
2. Continuous Dry Verge
3. UPVC Gutter & Downpipe
4. UPVC Windows
5. Red Facing Brickwork
6. Soldier Course
7. Contrasting Buff Facing Brick
8. Composite Entrance Door
9. Red Engineering Brickwork
10. UPVC Doors



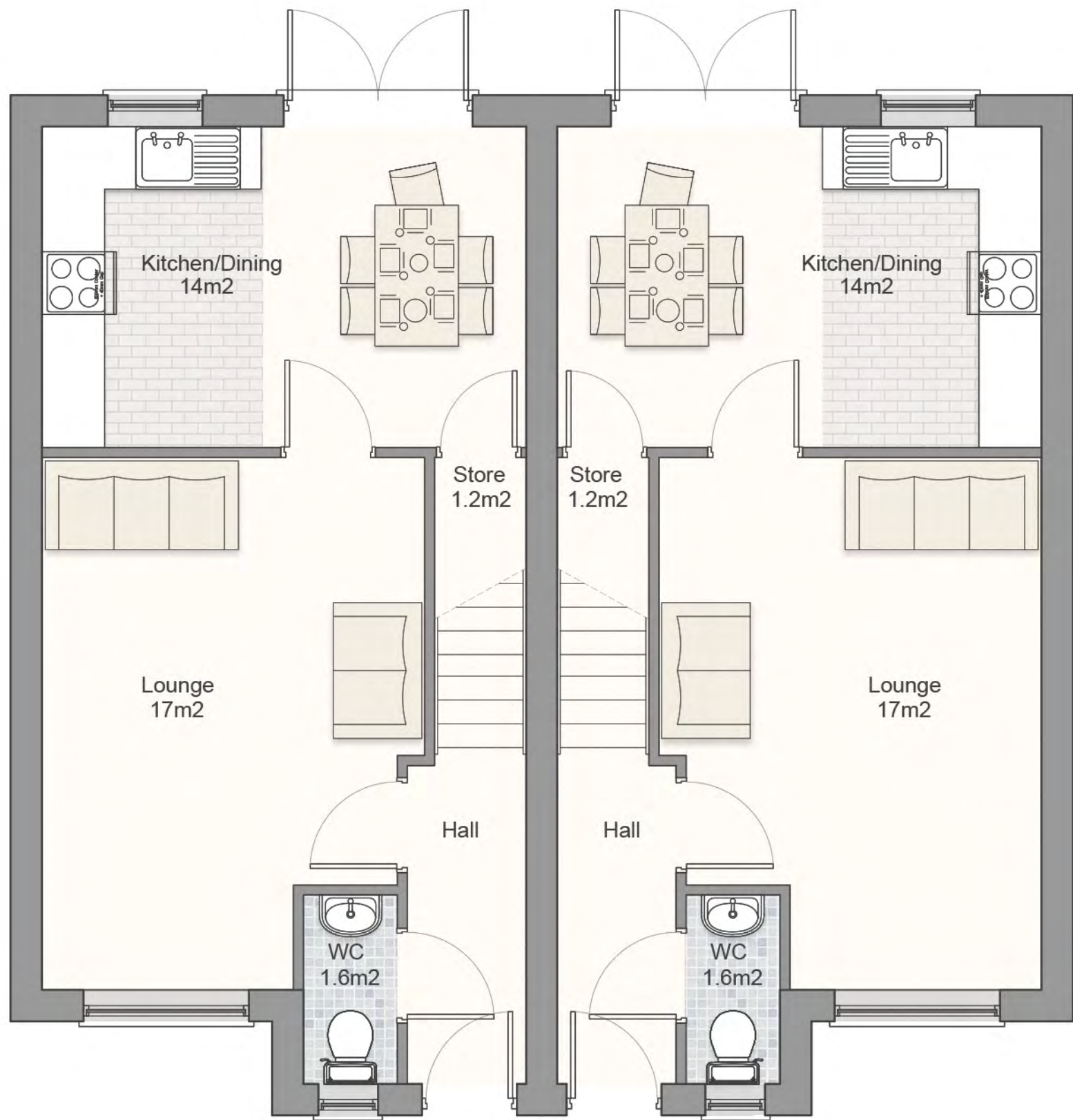
Front Elevation



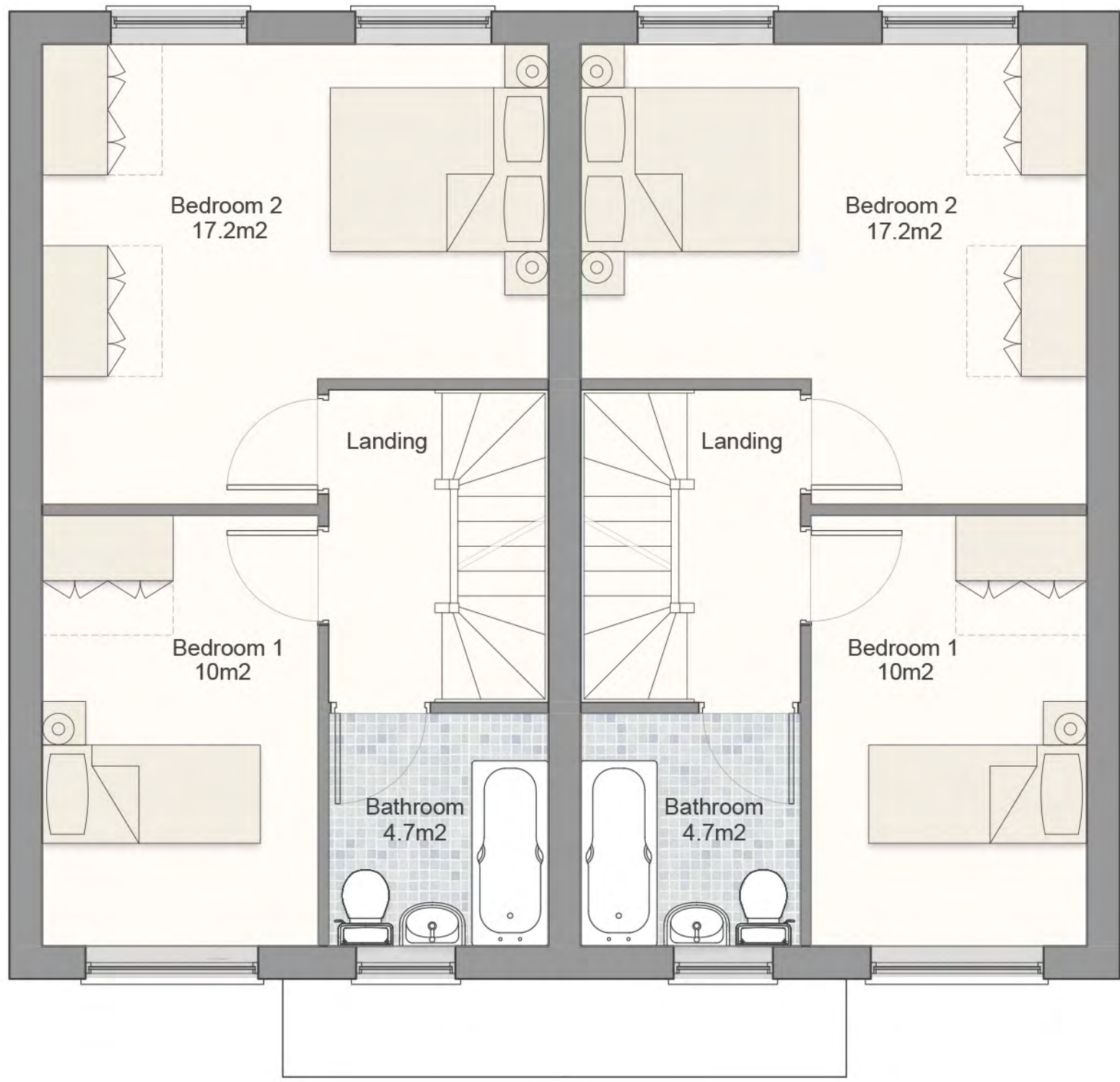
Rear Elevation



Side Elevation



Ground Floor General Arrangement Plan



First Floor General Arrangement Plan



Second Floor General Arrangement Plan

3 Bed Semi-Detached House
99sqm (1066sqft)

B	Layout amended to meet 100% NDSS	18.07.22	ABH
A	Planning Issue	28.10.21	SK
-	Initial Issue	08.10.21	SK
Rev	Description	Date	By

jda

jda architects
info@jda-architects.com
www.jda-architects.com
manchester 0161 336 5011
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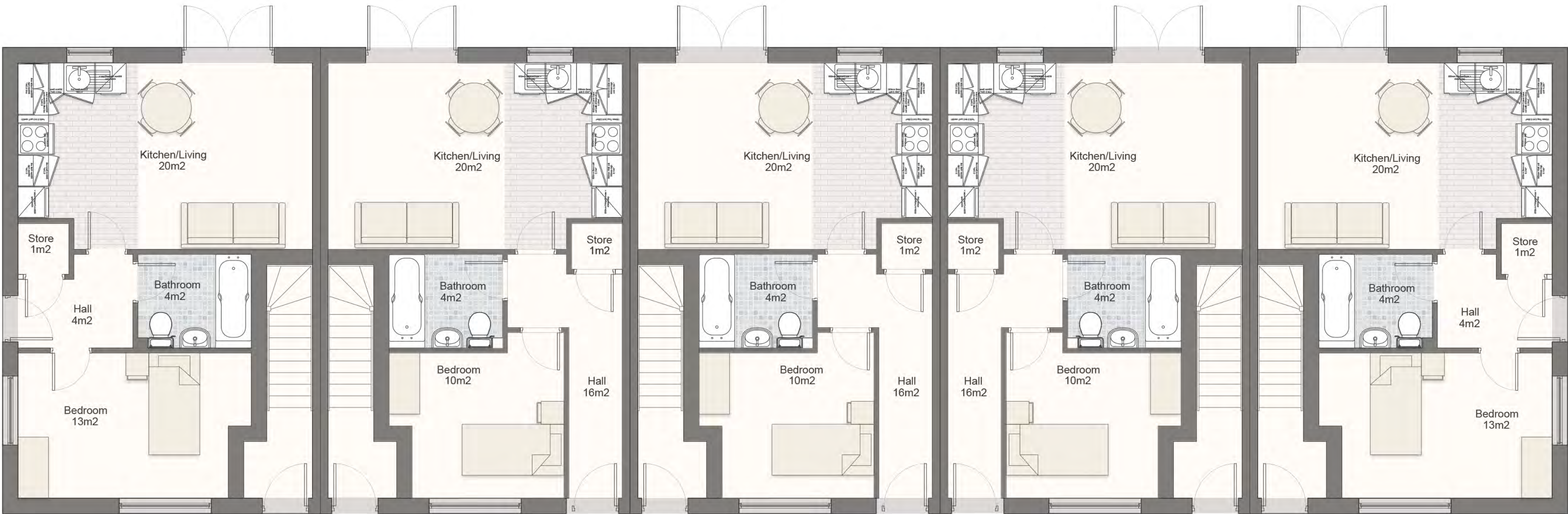
Client:	Anwyl Partnerships		
Project:	Sydney Road, Crewe		
Project Status:	PL - Planning		
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1:50	A1	Oct 2021	SK
			Checked by:
			KOR
Project Number	Drawing Number		
1231	A	DR	205
Description	3B Semi-Detached House		Rev
General Arrangement Plans & Elevations			B

Scale 1:50

Z:\1231 - Sydney Road, Crewe\Drawings\1231_0231_A_DR_205_3B Semi-Detached House



First Floor General Arrangement Plan



Ground Floor General Arrangement Plan

1 Bed Walk Up - 10 Unit Terrace
45/51sqm (484/549sqft)

B	Layout amended to meet 100% NDSS	12.07.22	ABH
A	Planning Issue	28.10.21	SK
-	Initial Issue	14.10.21	SMH
Rev	Description	Date	By



jda architects

info@jda-architects.com
www.jda-architects.com

manchester 0161 336 5011
liverpool 0151 665 0112

Client:	Anwyl Partnerships		
Project:	Sydney Road, Crewe		
Project Status:	PL - Planning		
Scale:	@ original size	Date:	October 2021
1:50	A1	Drawn by:	SK
		Checked by:	KOR
Project Number:	1231		
	A	DR	208
Description:	162P Walk Up Apartment, 10 Unit General Apartment Plans		
	B		

MATERIAL SPECIFICATION

1. Roof Tile
2. Continuous Dry Verge
3. UPVC Gutter & Downpipe
4. UPVC Windows
5. Red Facing Brickwork
6. Soldier Course
7. Contrasting Buff Facing Brick
8. Composite Entrance Door
9. Red Engineering Brickwork
10. UPVC Doors



Front Elevation



Side Elevation



Rear Elevation



Side Elevation

1 Bed Walk Up - 10 Unit Terrace
45/51sqm (484/549sqft)

Rev	Description	Date	By
A	Planning Issue	28.10.21	SK
-	Initial Issue	13.10.21	SK

jda architects
info@jda-architects.com
www.jda-architects.com
manchester: 0161 336 5011
liverpool: 0151 480 0112

Client:	Anvyl Partnerships
Project:	Sydney Road, Crewe
Project Status:	P - Preliminary
Scale:	1:50
© Original Size:	A0
Date:	October 2021
Drawn By:	SK
Checked By:	KOR
Project Number:	1231
Drawing Number:	A
Year:	2021
Project Name:	1 Bed Walk Up Apartment, 10 Unit
General Arrangement Elevations	A



DO NOT SCALE

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Landscape Layout Key:

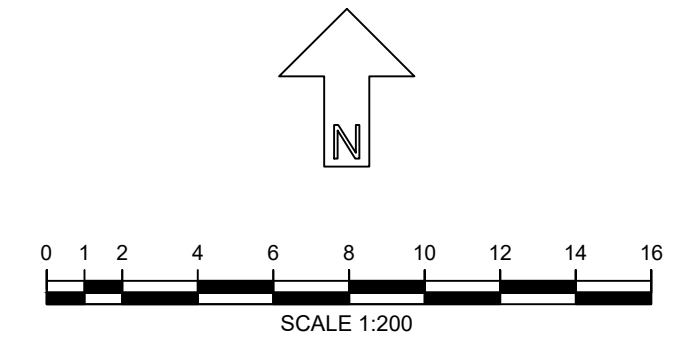
- Site Boundary
- Existing trees and hedgerows to be retained and protected during the works.
- Proposed ornamental planting on 400mm depth of topsoil with 75mm bark mulch.
- Proposed native tree planting, tree pit and stake as detailed in the specification.
- Small ornamental tree planting, tree pit and stake as detailed in the specification.
- Proposed single or mixed native hedgerow planted in a single staggered row at 0.33m centres and 0.3 offset. Bare root transplants, each with a 60cm high Tubex shrub shelter, two cable ties and a timber stake.
- Proposed single species formal hedge planted in a single row at 0.33 centres (3 no. plants per linear metre). Container transplants.
- Front gardens to be turfed on 150mm topsoil.
- Public open space to be sown with Germinall Eco-Species Rich Lawn mix, or similar approved, to be sown at a rate of 10g/m2 on 150mm topsoil.
- Native scrub planting to be planted as 60-80cm whip planting at 1m centres, for additional wildlife habitat.

Paving Key:

- Main roads, private drives and public footpaths including raised feature junctions and ramps/transition strips to be tarmac.
- Plot driveways and parking spaces- Private driveways and parking spaces in Mona Precast Monopave concrete block paving in 'Brindle', with contrasting blocks in 'Charcoal' to demark parking spaces or similar approved.
- Private pathways and patios to be Mona Precast Monopave Slab concrete paving slabs in 'Buff' or similar approved.

Boundary key:

- 1.8m high screen wall/fence
- 1.8m timber close boarded fence to side and rear



B	Minor Amendments	01/12/22
A	Minor Amendments	30/11/22
REV	DESCRIPTION	DATE

Ascerta
Landscape | Trees | Ecology
t: 0845 463 4404
e: info@landscapetreeseecology.com
www.landscapetreeseecology.com

CLIENT:	Amwyll Homes
PROJECT:	Sydney Road, Crewe, CW1 4HG
DRAWING TITLE:	Landscape Layout
SCALE:	1:200 @ A0
DRAWN BY:	RE
CHECKED BY:	CN
DATE:	24/11/2021
DRAWING No:	P.1332.20.03
REV:	B