

Southern Planning Committee

Supplementary Agenda

Date: Wednesday, 28th June, 2023
Time: 10.00 am
Venue: Council Chamber, Municipal Buildings, Earle Street, Crewe
CW1 2BJ

5. **22/4203N - PARKSIDE, BUNBURY LANE, BUNBURY, CW6 9QZ - Outline permission for demolition of one dwelling and erection of up to 25 entry-level homes (First Home dwellings), access off Bunbury Lane and all other matters reserved (Pages 3 - 8)**

To consider the above application.

6. **22/4662C - COTTON FARM, MIDDLEWICH ROAD, HOLMES CHAPEL, CHESHIRE, CW4 7ET - Development of 3 no. buildings, totalling 4,422m.sq (use class B8 - storage and distribution), associated infrastructure and landscaping (Pages 9 - 18)**

To consider the above application.

7. **22/4609C - LAND OFF, MEADOWBANK AVENUE, WHEELLOCK - Construction of affordable housing (Pages 19 - 30)**

To consider the above application.

8. **22/1485C - LAND TO THE NORTH OF 24 CHURCH LANE, SANDBACH CW11 2LQ - Erection of 4 dwellings with associated access and landscaping (Pages 31 - 38)**

To consider the above application.

9. **22/3818C - LAND EAST OF, CHELLS HILL, CHURCH LAWTON - Full planning application for periodic use of land on an annual basis (up to 56 days per calendar year) for moto-cross purposes, retention of hardstanding and access, access enhancements, and associated works (Pages 39 - 42)**

Please contact Jennifer Ashley on 01270 685705
E-Mail: jennifer.ashley@cheshireeast.gov.uk with any apologies or requests for further information

To consider the above application.

10. **23/0376N - VACANT LAND AT, RICHARD GIBSON ROAD, HENHULL - New 1 form entry primary school to accommodate 210 pupils, with an additional Resources Provision for SEN pupils. Associated perimeter fencing for safeguarding, car park, cycle storage, plant and landscaped play areas** (Pages 43 - 52)

To consider the above application.

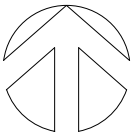
11. **22/4964N - CAR PARK, OAK STREET, CREWE - Proposed erection of a part single, part two storey building to provide a Class D2 Youth Zone facility with minibus parking and drive in drop off layby from Oak Street with accessible car parking space. A 5 a-side illuminated (MUGA) pitch is located on the roof at first floor level with an acoustic screen from properties on High Street. Covered secure cycle parking to the North along with external recreation area with secure fencing. Service Yard to the North accessed off High Street providing access to bin storage and minibus space. Associated boundary treatments and hard and soft landscaping** (Pages 53 - 64)

To consider the above application.

12. **22/3942C - THE TEARDROP PADDOCK, HALL DRIVE, ALSAGER, ST7 2UD - Conversion of part of stable block to a single residential dwelling and ancillary works** (Pages 65 - 68)

To consider the above application.

22/4203N
Parkside,
BUNBURY LANE,
BUNBURY,
CW6 9QZ



IMPORTANT NOTE:

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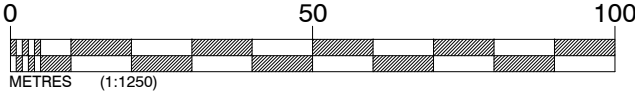
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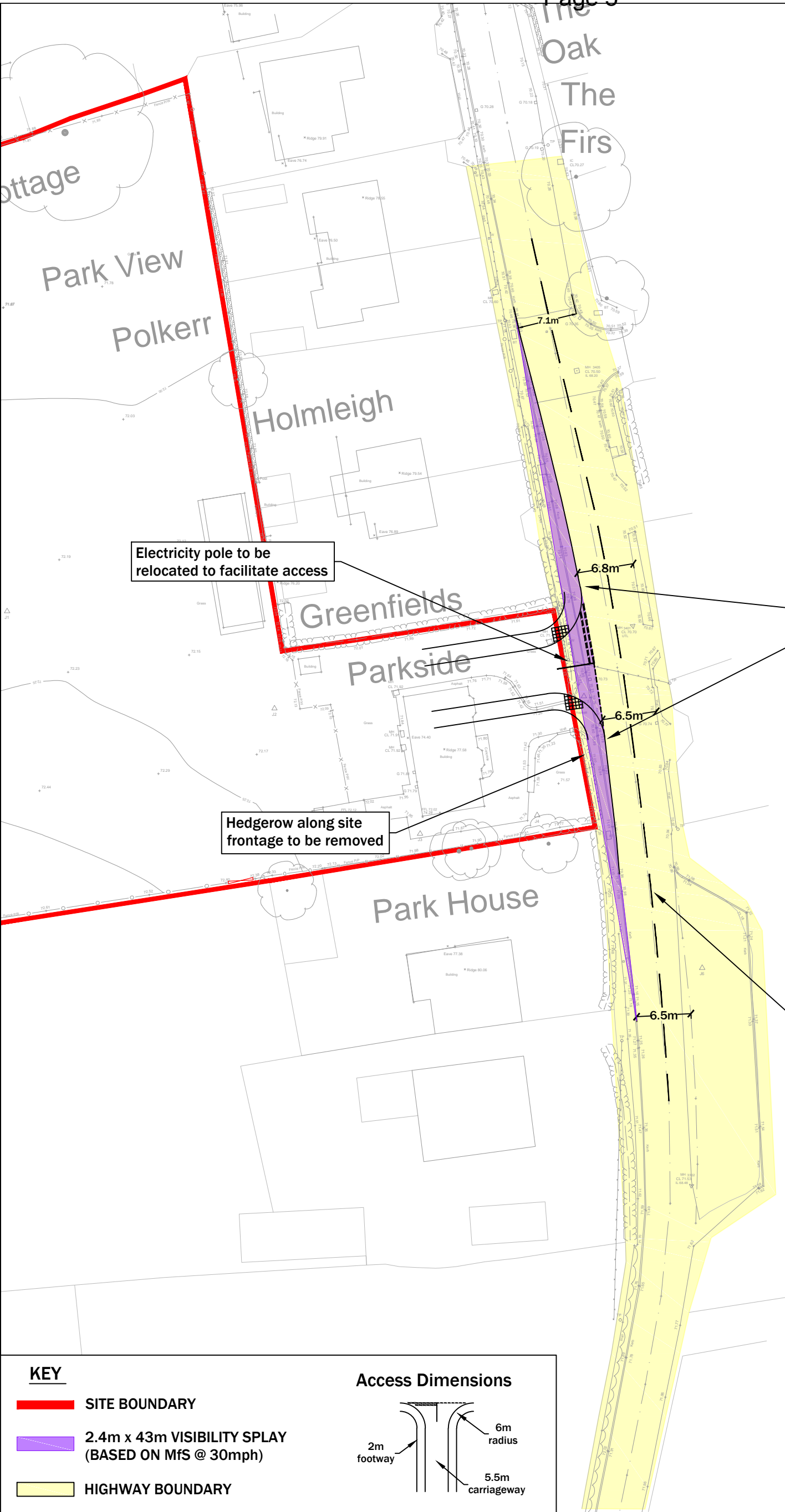
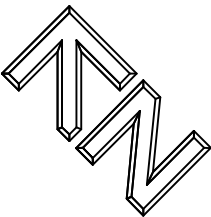


Land to the rear of Parkside,
Bunbury Lane



Revision:	By:	Date:

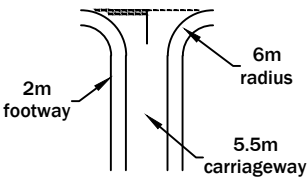
 e-mail: enquiries@baldwindesign.net www.baldwindesign.net 4 Marina Walk, Pennington Wharf, Plank Lane, Leigh, WN7 4EZ. Tel: 01925 747615	Client:	Mr Ryder
	Project Title:	Residential Development
	Address:	Land to the rear of Parkside Bunbury Lane, Bunbury
	Drawing Title:	Location Plan
	Drawing No:	PA/BLB/LP/01
Dwn:	Ckd:	Date:
BG	ST	06/04/2021
Scale:	Paper Size:	Rev:
1:1250	A3	



KEY

- SITE BOUNDARY**
- 2.4m x 43m VISIBILITY SPLAY (BASED ON MfS @ 30mph)**
- HIGHWAY BOUNDARY**

Access Dimensions



9 Hurricane Court
Liverpool International Business Park | Estuary Boulevard | Liverpool | L24 8RL
www.primetp.co.uk | 0151 728 1860

Rev	Date	By	Revision notes
D	06.04.21	VB	ACCESS WIDENED TO 5.5m
C	06.04.21	VB	NOTE AMENDMENTS
B	26.03.21	VB	NOTE AMENDMENTS
A	25.03.21	VB	MINOR AMENDMENTS

Status

INFORMATION

Project

**LAND TO THE REAR OF PARKSIDE,
BUNBURY LANE, BUNBURY, CHESHIRE**

Title

PROPOSED ACCESS STRATEGY

Drawn by
VB

Issue date
15 MAR 2021

Scale(s)


1:500 @ A3

Drawing No

P21012-005D



Revision:	By:	Date:

Client:		
 PLANNING ANGEL PLANNING AND DEVELOPMENT CONSULTANCY GUARDIAN OF YOUR PROJECT		
Project Title:		
Residential Development		
Address:		
Land to the rear of parkside, Bunbury Lane, Bunbury		
Drawing Title:		
BDC Illustrative Layout		
Drawing No:		
PA/BLB/IL/01		
Dwn:	Ckd:	Date:
MB	GB	22/08/2022
Scale:	Paper Size:	Rev:
1:500	A3	

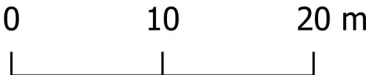


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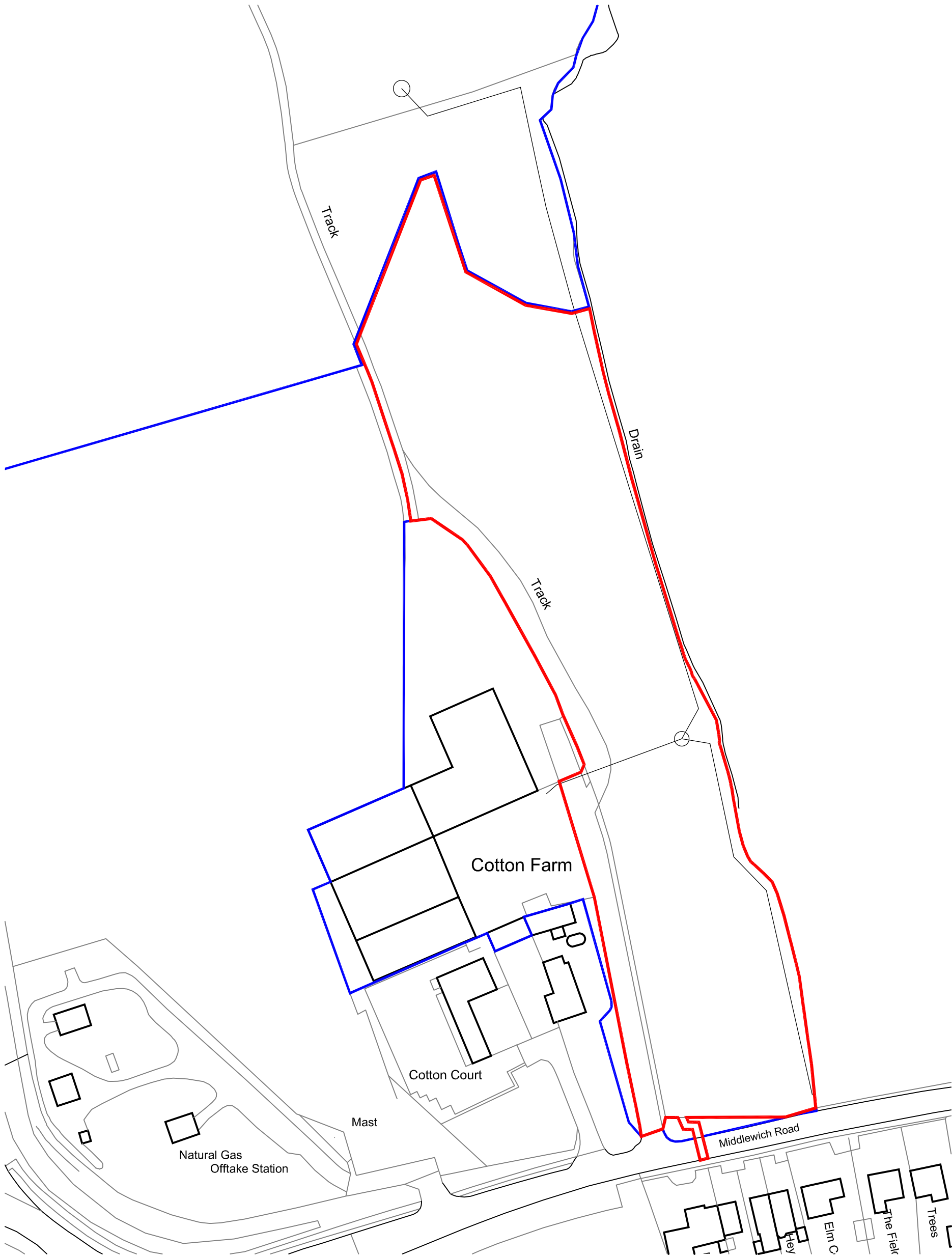
- Amenity Grassland
- Dwellings and Hardstanding
- Gardens
- Mixed Scrub Planting
- Meadow Grassland Seeding
- Retained Hedges: Introduced shrub
- Retained Intact hedge - species-poor
- Retained Hedge with trees - species-poor
- New Native Species Rich Hedgerow Planting
- New Trees



fpcr
client
Roger Ryder
project
Bunbury Lane,
Bunbury
drawing title
PROPOSED BIA HABITAT PLAN
scale @ A3
1:500
drawn
MPG/KDG
issue
07/4/2023
drawing / figure number
Figure 1
rev
-

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22/4662C
COTTON FARM,
MIDDLEWICH ROAD,
HOLMES CHAPEL,
CW4 7ET



D	Red & blue lines revised to include footpath	27/02/2023	BD	BD
C	PLANNING ISSUE	23/09/2022	BD	RG
B	Red line position altered	26/08/2022	BD	RG
A	PLANNING ISSUE	07/07/2022	TR	RG
-	FIRST ISSUE	02/11/2021	TR	RG
Rev	Revision	Date	Drwn	Chkd

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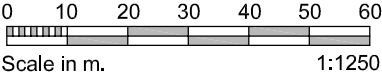
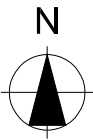
Residual Risks
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Safety Health and Environmental Information Box

Project
**PROPOSED BUSINESS DEVELOPMENT
COTTON FARM, HOLMES CHAPEL**

Client
R. EVANS & S. CROKER

Layout Title
LOCATION PLAN



Drawing Number

project	originator	zone	level	type	role	number	rev
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CFH-	TNW	- 00	- GF	- DR	- A	AL(0) 001	D
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TNW Project No.	Scales @ A3	Status
2210062	1:1250	PLANNING

t: Chester: 01244 310388 / Newcastle (Head Office):
0191 265 7080 / 0191 213 0133
e: enquiries@tnw-architecture.co.uk
w: www.tnw-architecture.co.uk / www.architects-group.com
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Indicative gross internal area of units schedule		
Unit 1-	436m2	4,693ft2
Unit 2-	436m2	4,693ft2
Unit 3-	625m2	6,727ft2
Unit 4-	1,206m2	12,981ft2
Unit 5-	573m2	6,168ft2
Unit 6-	573m2	6,168ft2
Unit 7-	573m2	6,168ft2
Totals	4,422m2	47,598ft2

Indicative areas subject to design development		

Site layout as shown is for Planning Application purposes only and subject to design development and vehicular tracking. Parking is based on C.E parking recommendation for B8 (Warehouse Distribution), 1No space per 60m2 and 1No disabled parking space minimum. Cable diversion route TBC by Scottish Power. For details of proposed landscaping refer to landscaping plans prepared by Environmental Associates.



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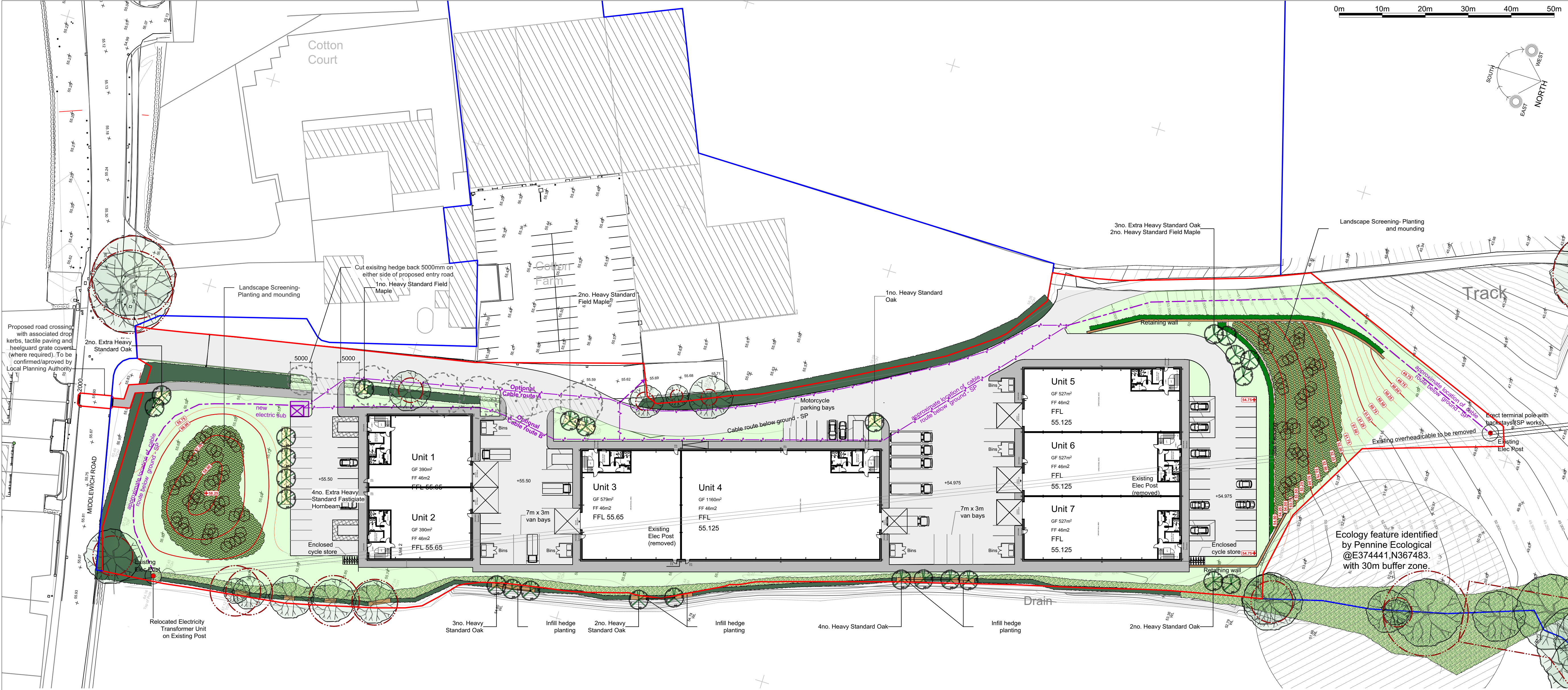
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Safety Health and Environmental Information Box

Rev	Revision	Date	Drawn	Chkd

Rev	Revision	Date	Drawn	Chkd
A	FIRST ISSUE	30/06/2022	MM	RG
A	PLANNING ISSUE	05/07/2022	TR	RG
B	MINOR AMENDMENTS	07/07/2022	TR	RG
C	Red line position revised to the north, car and lorry parking provisions revised, cycle store provisions included, bin provisions included & re-directed electricity cable route revised	24/08/2022	BD	RG
D	Arboricultural information added, retaining structures updated, re-directed electricity cable route revised, red line adjusted, area schedule updated & internal unit floor levels added	25/08/2022	BD	RG
E	Bins and parking bays reconfigured	31/08/2022	BD	RG
F	PLANNING ISSUE, Proposed landscaping features added, re-directed cable route updated	22/09/2022	BD	RG
G	Red and blue lines revised to include new footpath and pedestrian crossing	27/02/2023	BD	BD

Project		Drawing Number								
PROPOSED BUSINESS DEVELOPMENT COTTON FARM, HOLMES CHAPEL		project	originator	zone	level	type	role	number	rev	
Client		CFH - TNW - XX - XX - DR - A							AL(0)102	G
R. EVANS & S. CROKER										
Layout Title		TNW Project No.							Scales @ 1	Status
PROPOSED SITE PLAN		2210062								PLANNING
		1: Chester (01244 310308) Newcastle (01692 40500) / 0191 205 7800 / 0191 213 0133 e: enquiries@architects.co.uk / www.architects.co.uk Copyright: TNW Ltd.								
		NEEDS THE SMALLER BROWN GROUP								



Rev	Details	Date	Drawn
A	Optional SP Cable route added. Entry footpaths adjusted	21/09/22	LC
B	Pedestrian crossing over Middlewich Road added in response to highways planning comment.	20/02/23	LC
C	Planting proposals updated in line with Ecologist's requirements	23/02/23	LC

Infill Hedgerow Planting*

* Plant to fill gaps in existing hedge. Locations as shown. 5 plants/ms nominal spacing

Cm	Crataegus monogyna	Hawthorn	Whip	2+1	200
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Tree Plant Schedule

Ac	Acer campestre	Field Maple	Heavy Standard	BR; 3.5-4.0m height, 12-14cm girth	4
CbF	Carpinus betulus 'Fastigiata'	Fastigate Hornbeam	Extra Heavy Standard	BR; 4.5-5.0m height, 14-20cm girth	4
Qr	Quercus robur	Oak	Extra Heavy Standard	BR; 4.5-5.0m height, 14-20cm girth	9
Qr	Quercus robur	Oak	Heavy Standard	BR; 3.6-4.2m height, 12-14cm girth	9

Low Level Native Planting

Hh	Hedera helix	Common Ivy	1 litre	30-50cm long, min 3 brks	972
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Native Hedgerow With Trees Plant Schedule - Refer notes

Bp	Betula pendula	Silver Birch	Light Feathered	BR; 180-240cm	4
Ca	Corylus avellana	Hazel	Whip	2+1	310
Cm	Crataegus monogyna	Hawthorn	Whip	2+1	717
Cs	Cornus sanguinea	Common Dogwood	Whip	2+1	194
Ms	Malus sylvestris	Crab Apple	Light Feathered	BR; 180-240cm	4
Pa-1	Prunus avium	Bird Cherry	Light Feathered	BR; 180-240cm	4
Qr-1	Quercus robur	Oak	Light Feathered	BR; 180-240cm	8
Vo	Viburnum opulus	Guelder Rose	40-60cm	BR; min 3 brks	194

Screening Woodland Planting - Planted At 1m Spacing

Ac	Acer campestre	Field Maple	Whip	2+1	317
Ca	Corylus avellana	Hazel	Whip	2+1	317
Cm	Crataegus monogyna	Hawthorn	Whip	2+1	317
Il	Ilex aquifolium	Common Holly	3ltr	40-60cm, min 3 brks	317
Pa	Prunus avium	Bird Cherry	Whip	2+1	317
Qp	Quercus petraea	Sessile Oak	Whip	2+1	317
Qr	Quercus robur	Oak	Whip	2+1	317

Screening Woodland Planting - Trees Planted In Groups Of 3-5 @ 2m Spacings

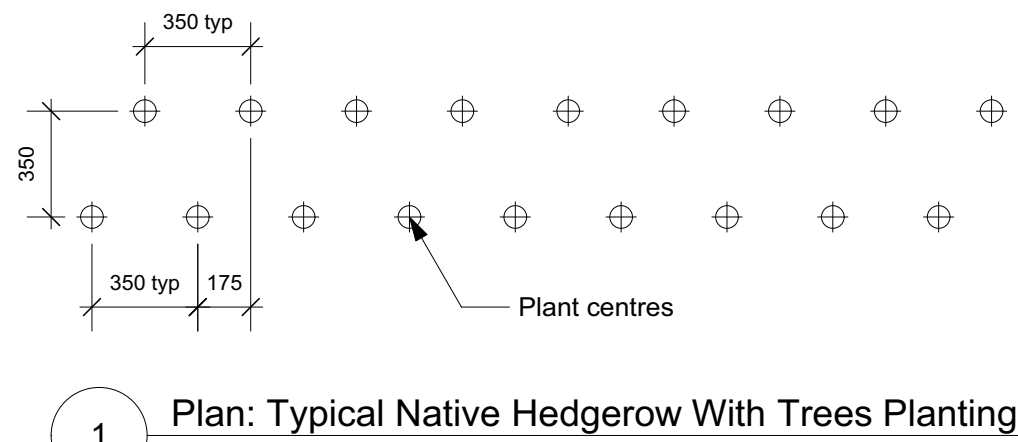
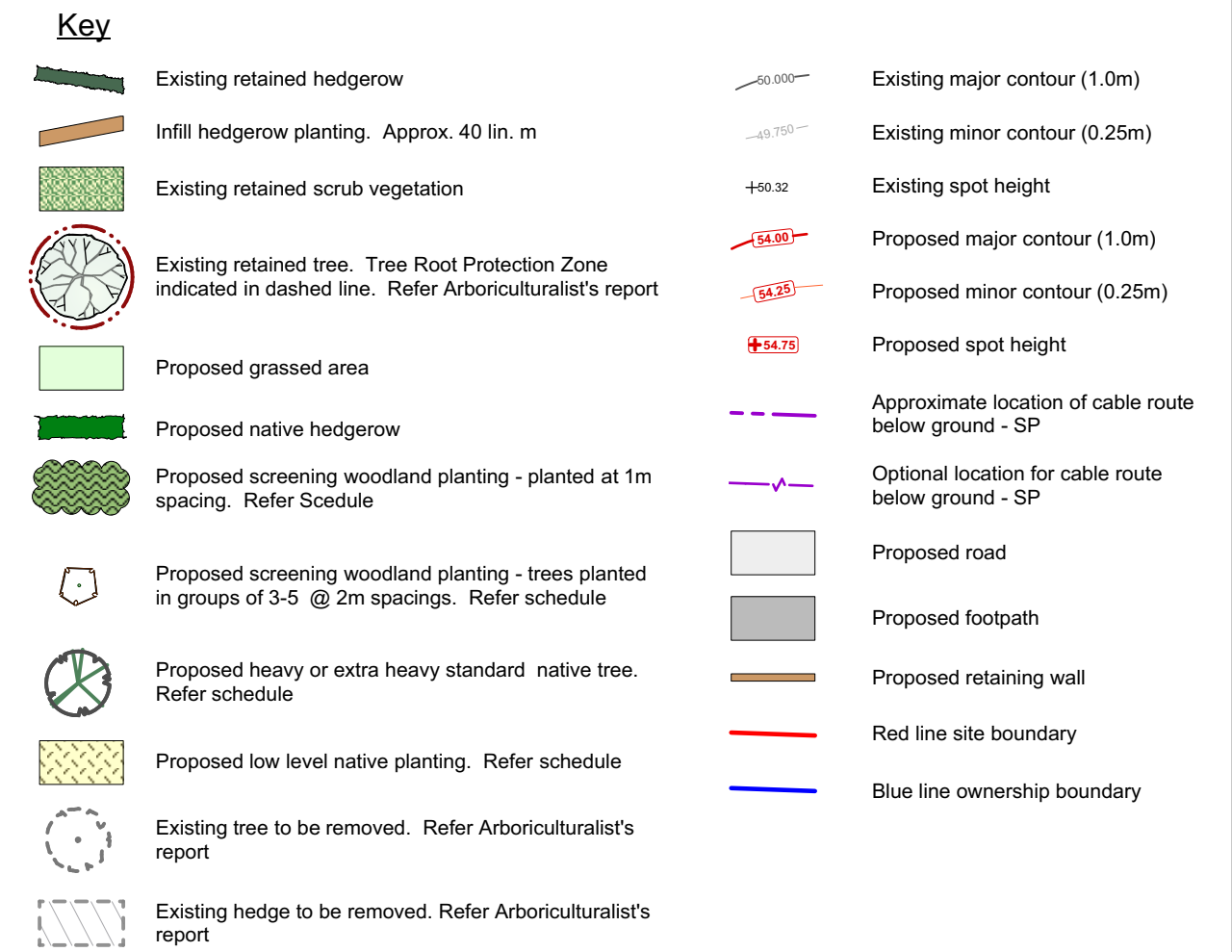
Ac	Acer campestre	Field Maple	Light Feathered	BR; 180-240cm	25
Pa	Prunus avium	Wild Cherry	Light Feathered	BR; 180-240cm	25
Qr	Quercus robur	Oak	Light Feathered	BR; 180-240cm	50

NOTES:

Refer Arboriculturalist's plans/report for detailed tree root protection zones and tree protection requirements.

Final route of SP electrical cable to be determined.

These plans are issued for planning purposes only.



NOTE RE: SCREENING WOODLAND PLANTING WHIPS AND NATIVE HEDGEROW WITH TREES

Native Hedgerow species are Hazel, Hawthorn, Dogwood and Guelder Rose. Hedgerow transplants height as per drawing. Planted at 350mm centres or otherwise as specified in drawing and in double staggered rows, mixing plant species so that there are no more than 5 plants of the same species abutting each other. Hedge plants are to be consistent in species, cultivar and clone to ensure a uniform hedge. Plant in trenches large enough to take full spread of roots. Set out plants evenly. Tree species are Birch, Crab Apple, Bird Cherry and Oak. These are to be planted interchangeably with the hedge species, but with minimum spacings of 6m between each tree instance.

- General notes:
- All dimensions are in metres unless noted otherwise.
 - All dimensions shall be verified on site before proceeding with the work.
 - Environmental Associates shall be notified in writing of any discrepancies.
 - All dimensions are nominal dimensions.
 - Environmental Associates accept no liability for any expense loss or damage of whatever nature and however arising from any variation made to this drawing or in the execution of the work to which has not been referred to them and prior approval obtained.
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landscape architects • urban designers • environmental planners

Client: R. Evans & S. Croker

Project: Cotton Farm, Middlewich Rd, Crewe

Address: CW4 7ET

Project: Proposed Business Development, Cotton Farm

Title: Proposed Landscape Planting Plan

Project No: EA-5839

Drawing No: 001

Revision: C

Scale: 1:500

A1

Date: 16/09/22

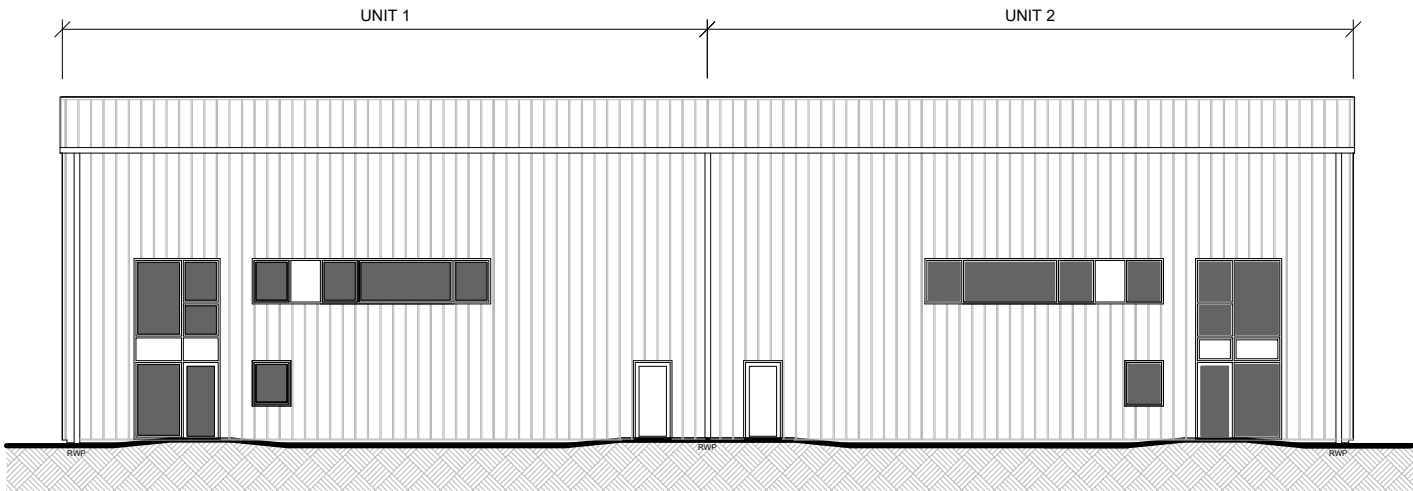
Chapel House, City Road, Chester, CH1 3AE, UK

Tel: 01244 311666

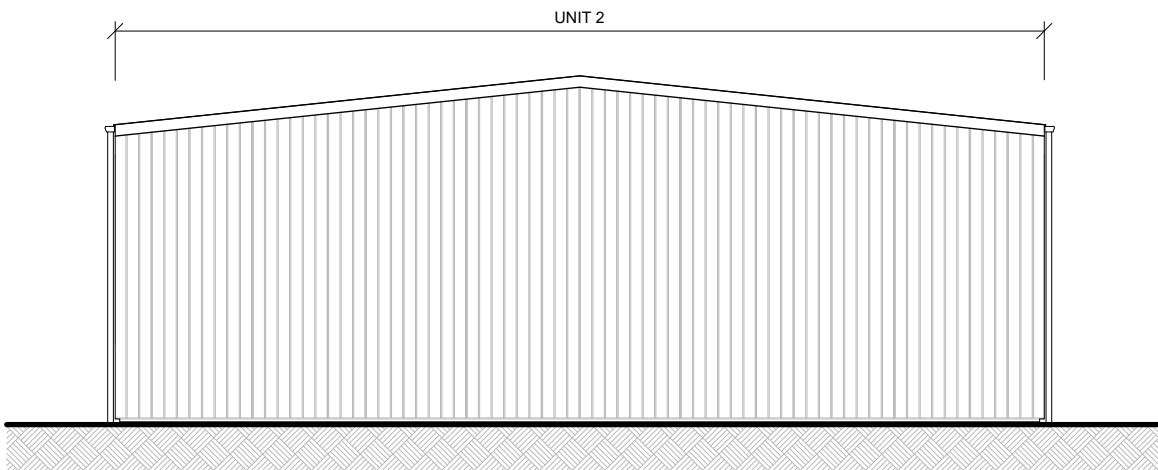
email: ea@environmentalassociates.net

web: www.environmentalassociates.net

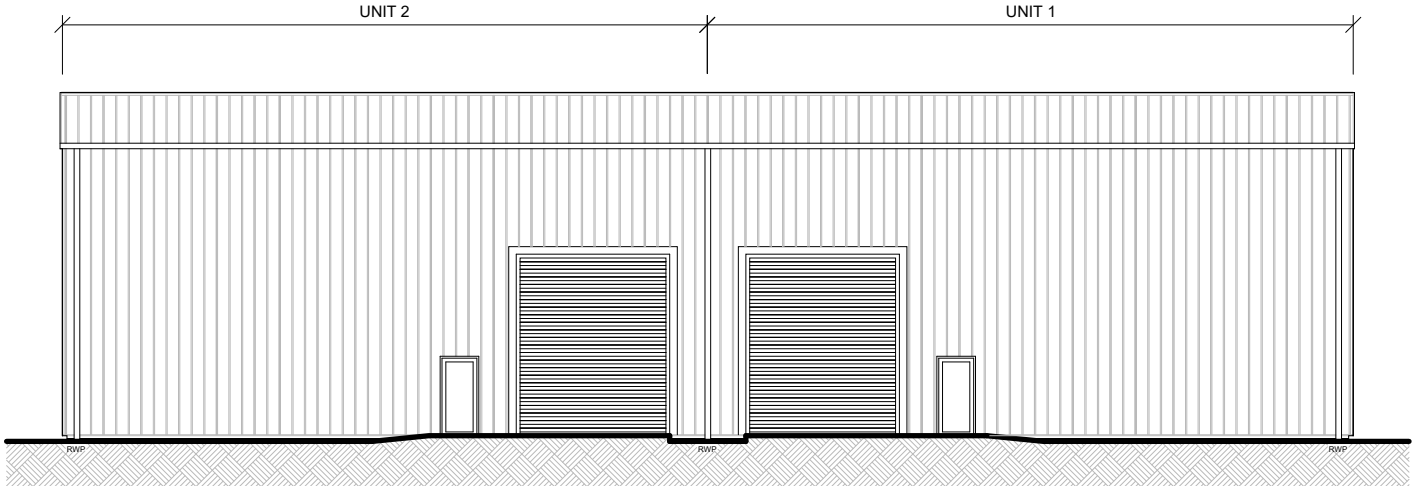
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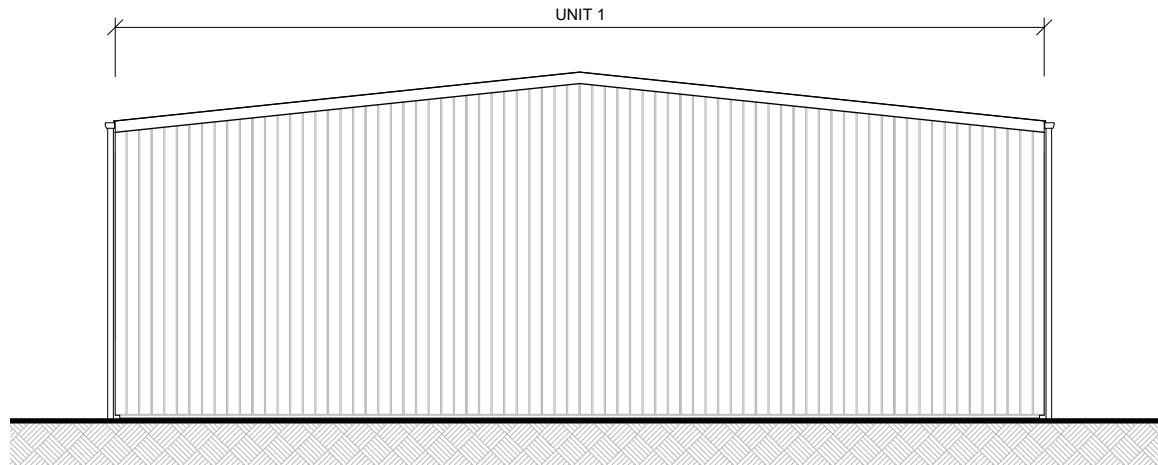
South Elevation



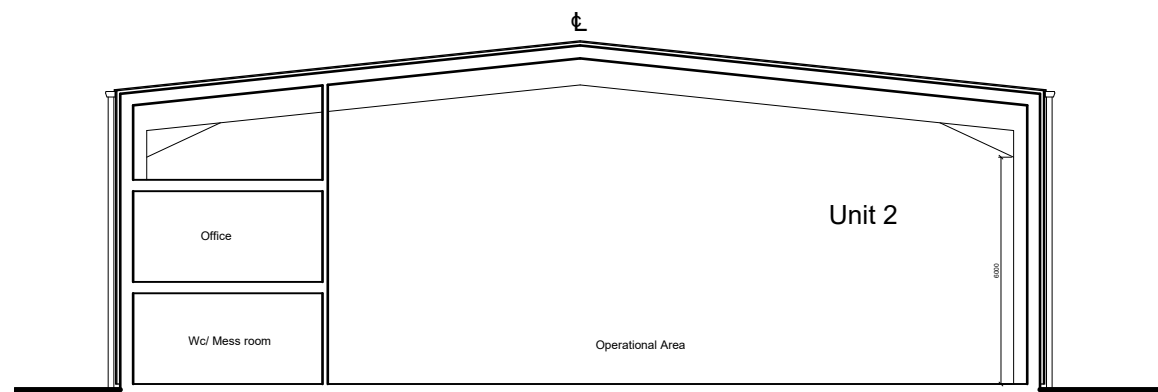
East Elevation



North Elevation



West Elevation



North-South Section

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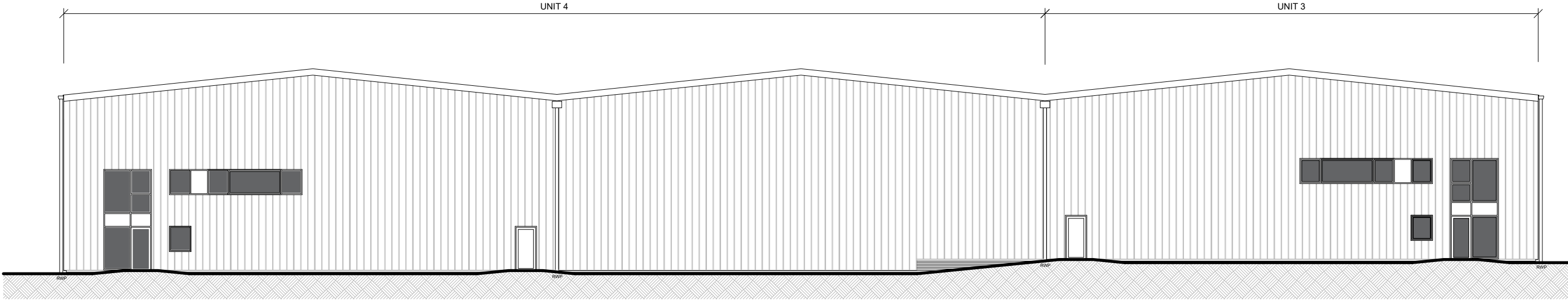
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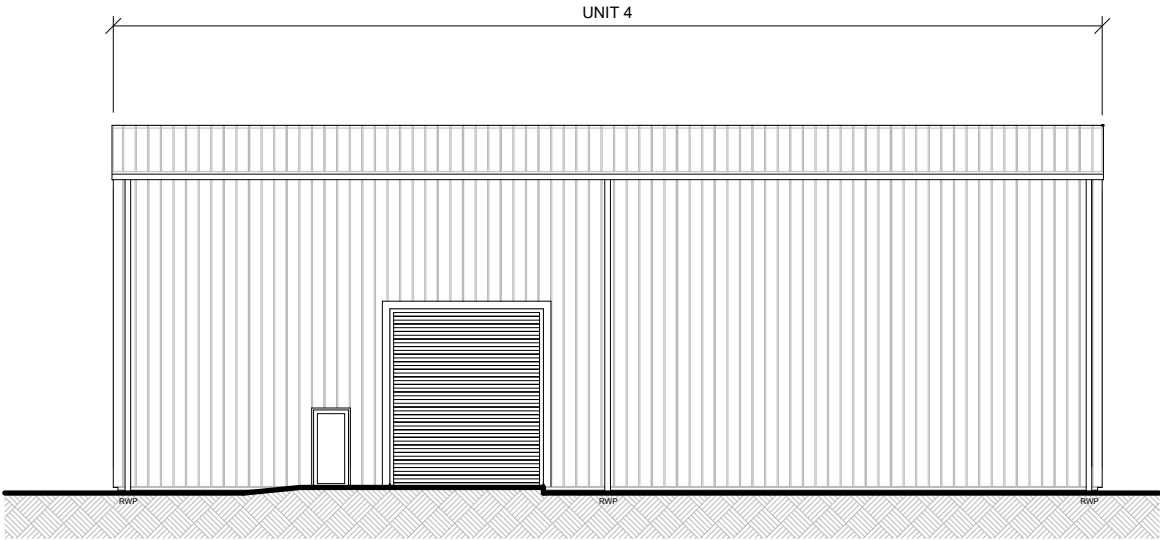
Rev	Revision	Date	Drawn	Chkd

Rev	Revision	Date	Drawn	Chkd
-	FIRST ISSUE	07/07/2022	BD	RG
A	PLANNING ISSUE	26/08/2022	BD	RG
B	PLANNING ISSUE	23/09/2022	BD	RG

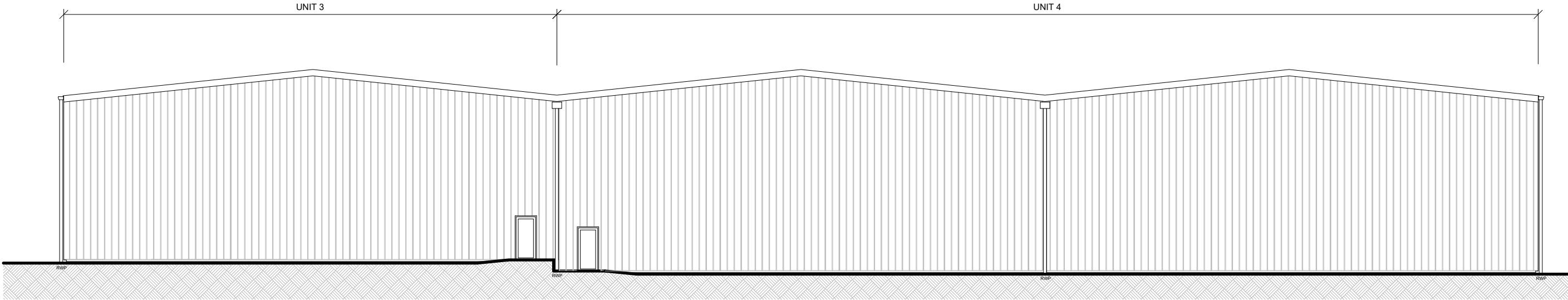
Project	PROPOSED BUSINESS DEVELOPMENT COTTON FARM, HOLMES CHAPEL	Drawing Number	
Client	R. EVANS & S. CROKER	CFH - TNW - XX - ZZ - DR - A	AL(0)111 B
Layout Title	PROPOSED ELEVATIONS AND SECTION UNITS 1 & 2	TNW Project No. Z210062	Scales @ A1 1:200
0 2 4 6 8 10 Scale in m.		1:200	PLANNING
1: Chester: 01244 310388 Newcastle (Head Office): 0191 265 7080 / 0191 213 0133 e: enquiries@tne-architecture.co.uk w: www.tne-architecture.co.uk / www.architects-group.com		1: Office: 01244 310388 1: Newcastle: 0191 265 7080 / 0191 213 0133 1: e: enquiries@tne-architecture.co.uk 1: w: www.tne-architecture.co.uk / www.architects-group.com	



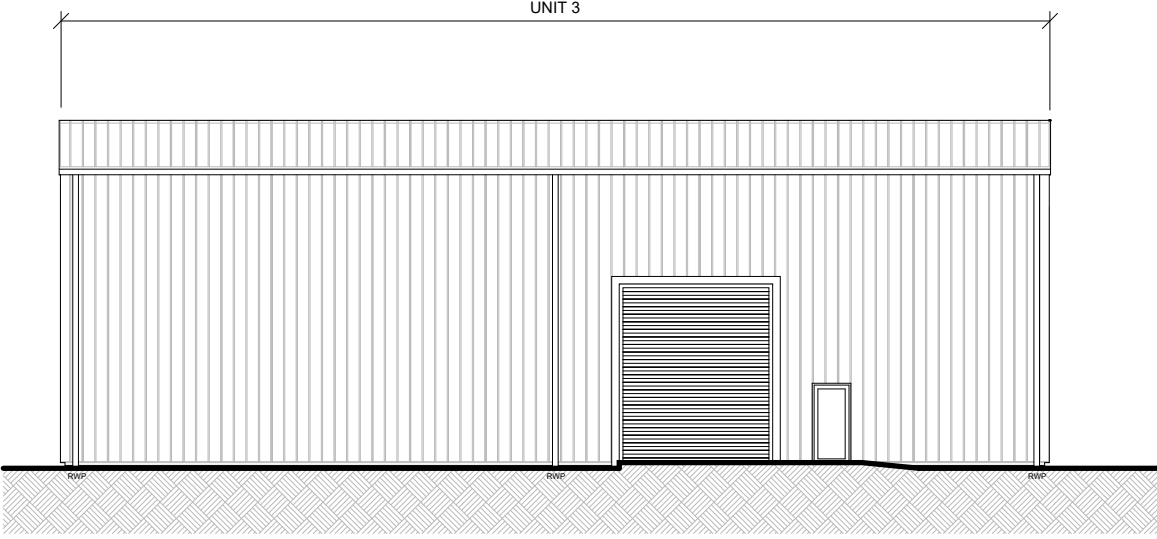
West Elevation



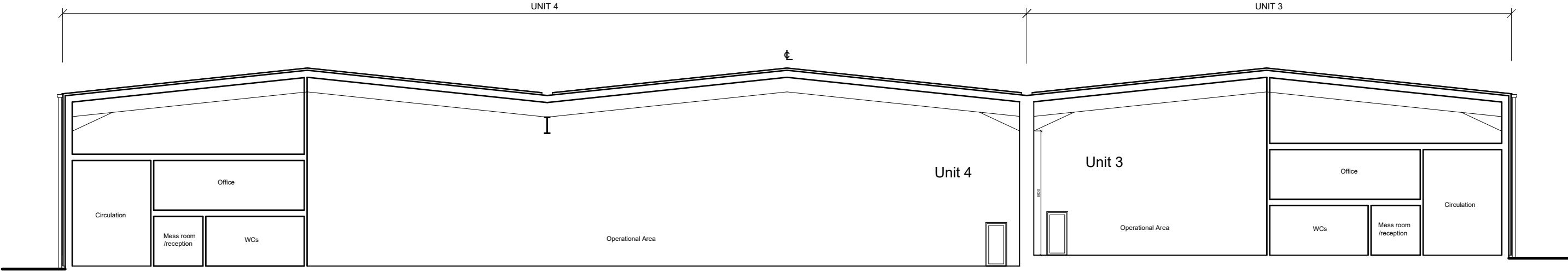
North Elevation



East Elevation



South Elevation

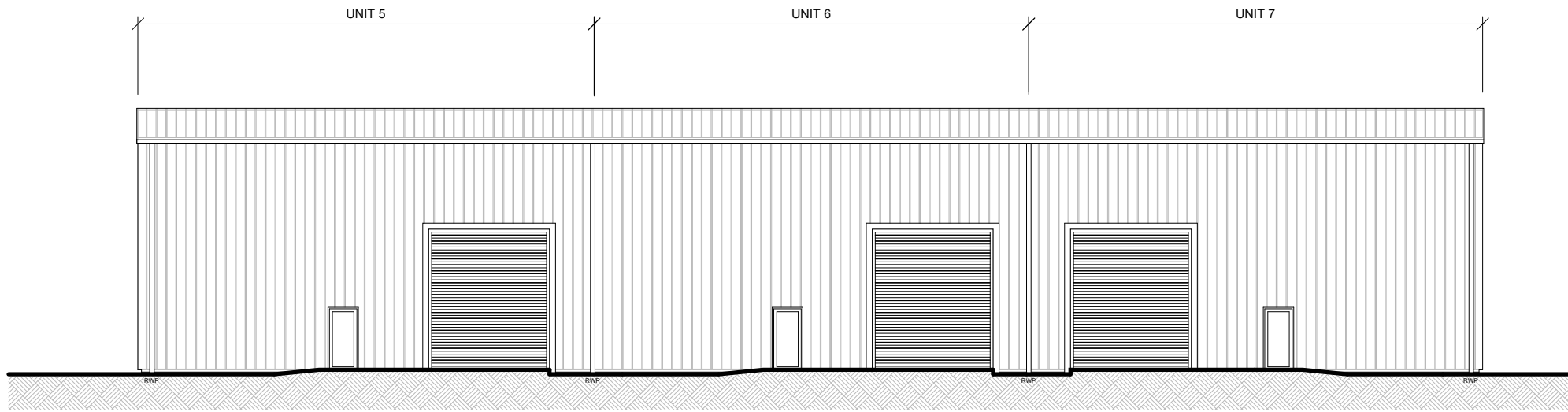


North-South Section

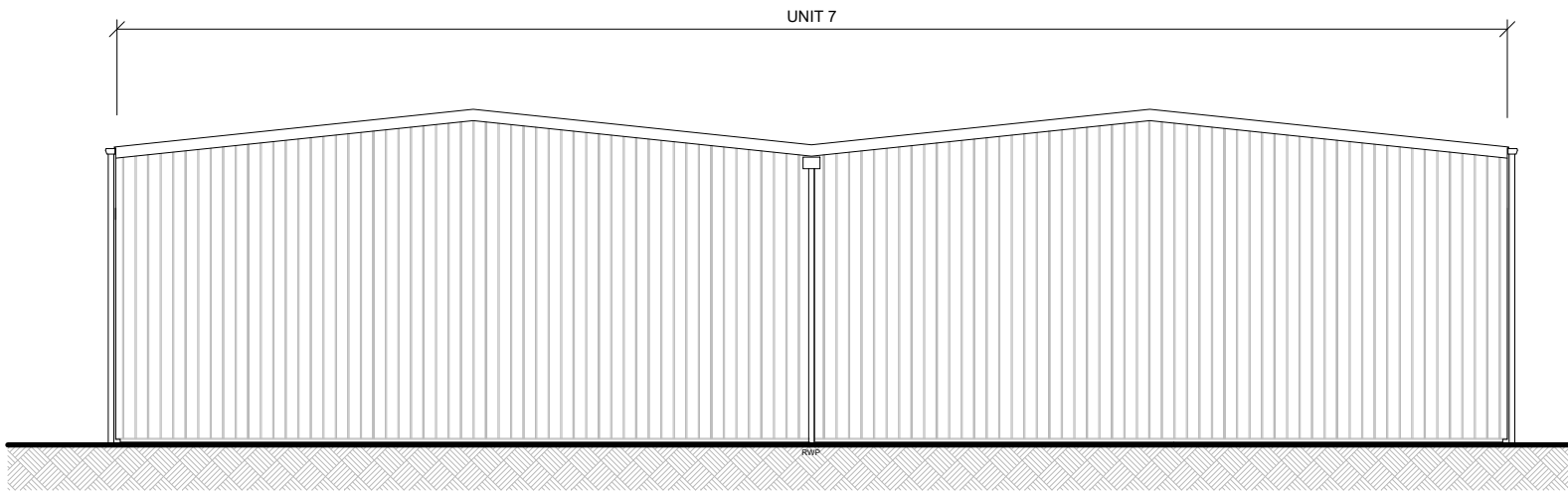
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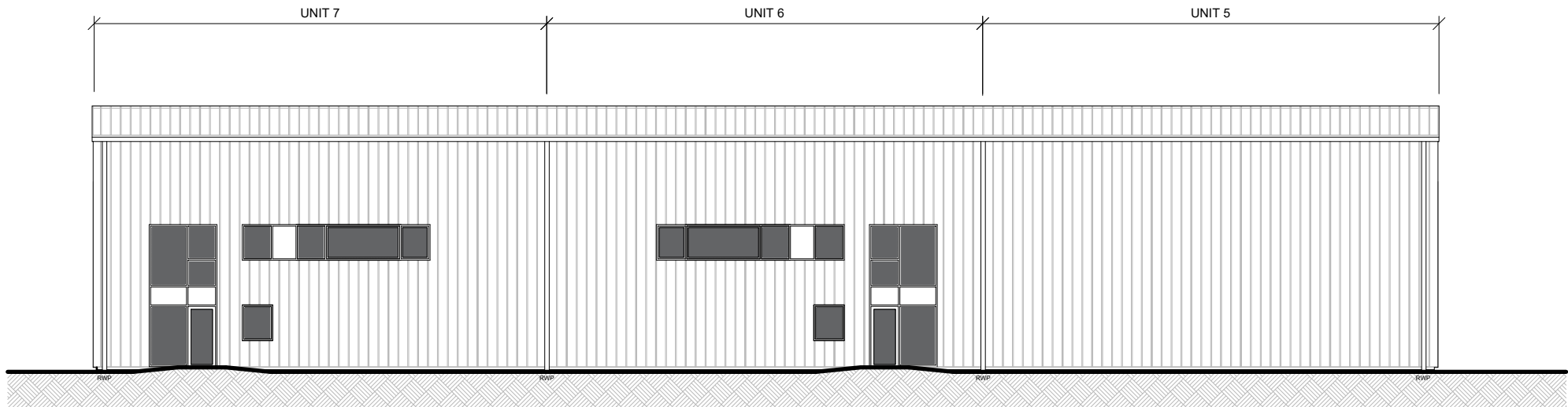
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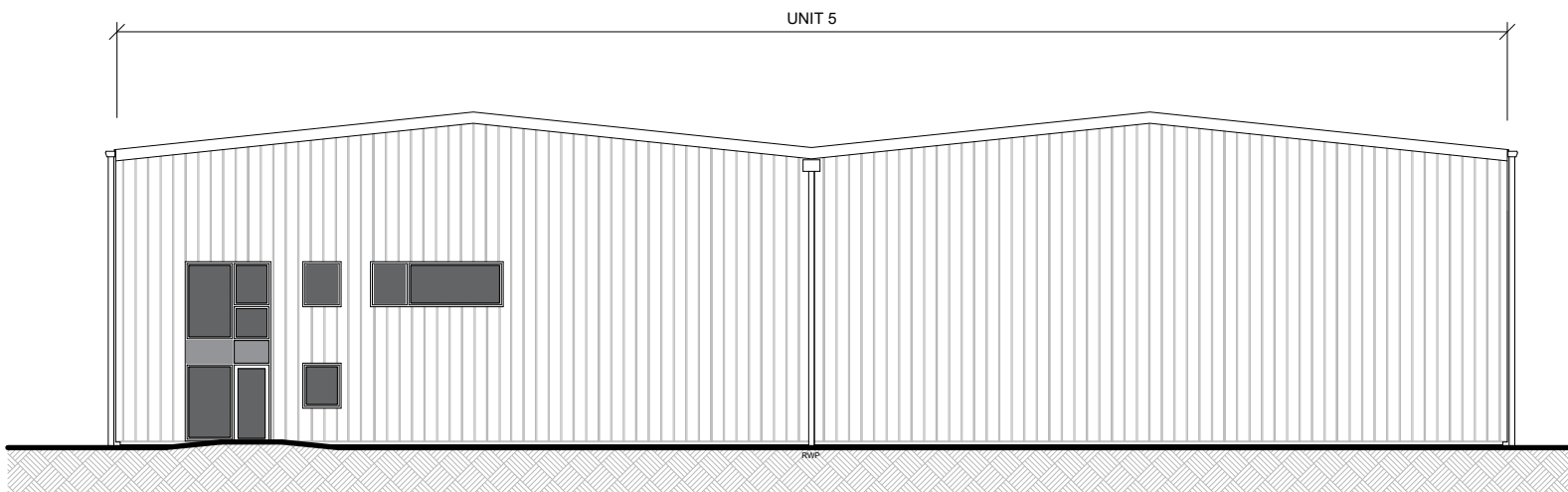
South Elevation



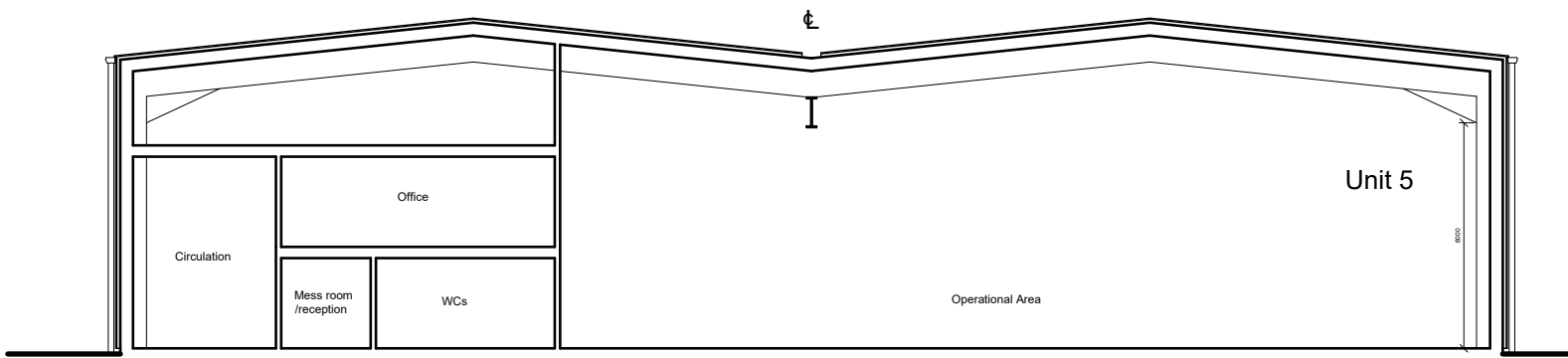
East Elevation



North Elevation



West Elevation



North-South Section

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Structure shown is indicative only and subject to Structural Engineer design.

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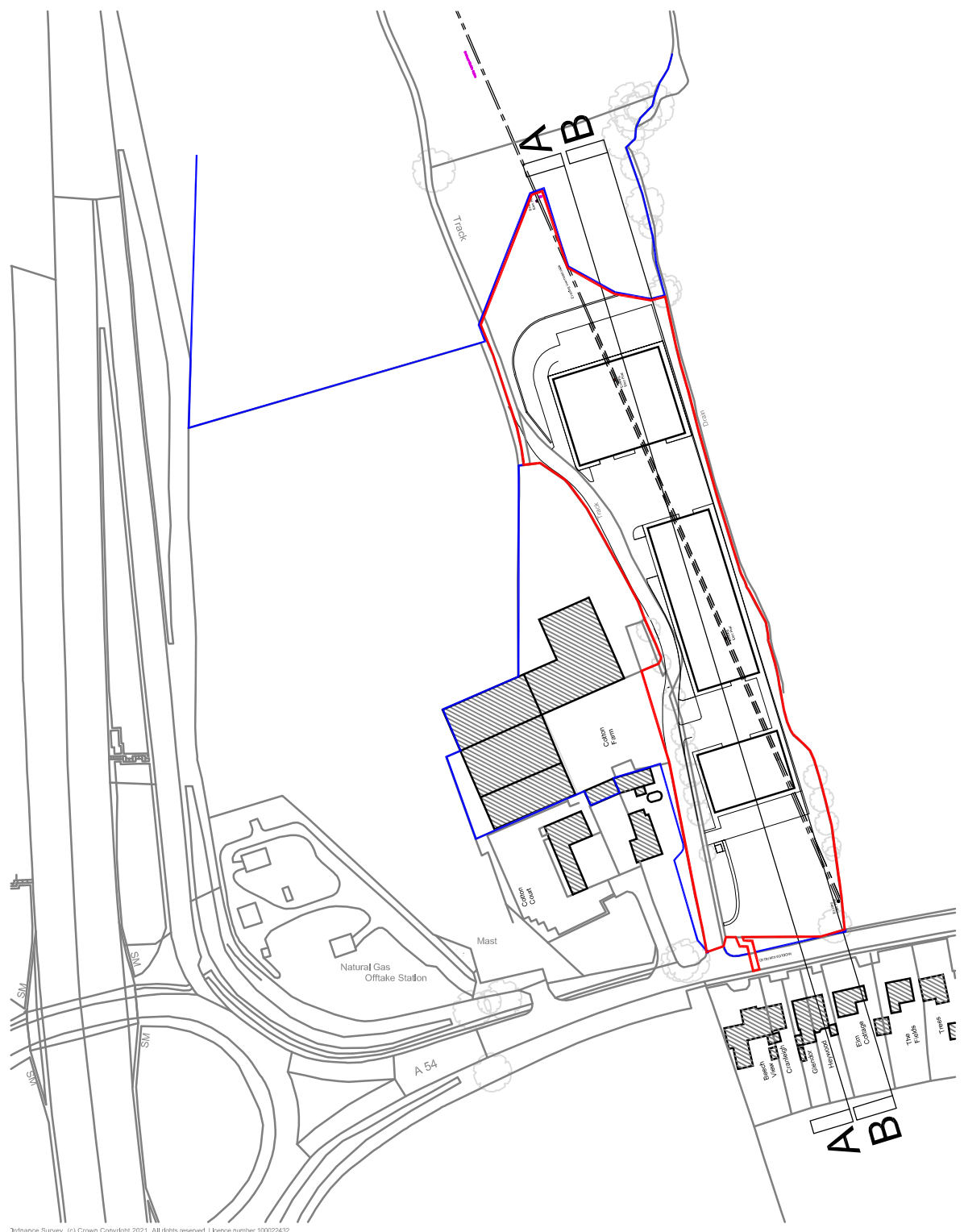
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Safety Health and Environmental Information Box

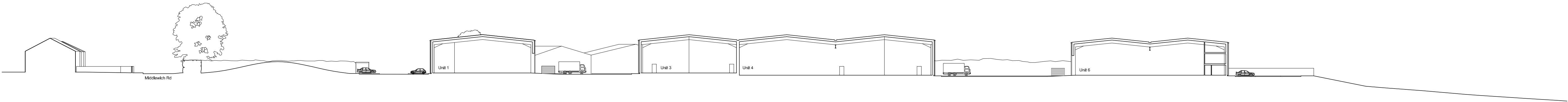
Rev	Revision	Date	Drwn	Chkd

Rev	Revision	Date	Drwn	Chkd
-	FIRST ISSUE	07/07/2022	BD	RG
A	PLANNING ISSUE	26/08/2022	BD	RG
B	PLANNING ISSUE	23/09/2022	BD	RG

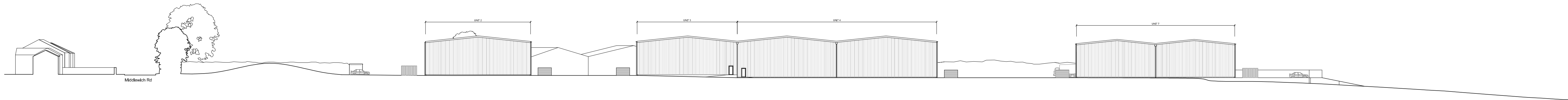
Project	PROPOSED BUSINESS DEVELOPMENT COTTON FARM, HOLMES CHAPEL					Drawing Number											
Client	R. EVANS & S. CROKER					project	originator	zone	level	type	role	number	rev				
CFH - TNW - XX - ZZ - DR - A																	
Layout Title PROPOSED ELEVATIONS AND SECTION UNITS 5, 6 & 7																	
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TNW Project No. 2210062 Scales @ A1 1:200 Status PLANNING																	
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Proposed Site Plan 1:2500



Proposed Site Section A-A 1:500



Proposed Site Section B-B 1:500

Note: Existing trees to be retained are shown only, for details of proposed landscaping tree planting refer to landscaping plans prepared by Environmental Associates.

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Structural Risks
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Safety Health and Environmental Information Box

Rev	Revision	Date	Drawn	Chkd

Rev	Revision	Date	Drawn	Chkd
-	FIRST ISSUE	07/07/2022	BD	RG
A	Plot line position altered, trees updated in line with arboricultural information, bin & cycle stores shown, site levels revised	25/08/2022	BD	RG
B	Drawing includes proposed section B-B information tourist previously on redundant drawing AL(0)104	26/09/2022	BD	RG
C	PLANNING ISSUE	22/09/2022	BD	RG
D	Red and blue lines revised to include new footpath and pedestrian crossing	27/02/2022	BD	BD

Project	PROPOSED BUSINESS DEVELOPMENT COTTON FARM, HOLMES CHAPEL										Drawing	number					rev	
Client	R. EVANS & S. CROKER										project	originator	zone	level	type	role		
	AL(O)103										CFH	TNW	- XX	- XX	- DR	- A		D
PROPOSED SITE SECTIONS A-A & B-B										TNW Project No.		Scales @ A1		Status				
Layout Title										2210062		1:500		PLANNING				
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Note: Existing trees to be retained are shown only, for details of proposed landscaping tree planting refer to landscaping plans prepared by Environmental Associates.


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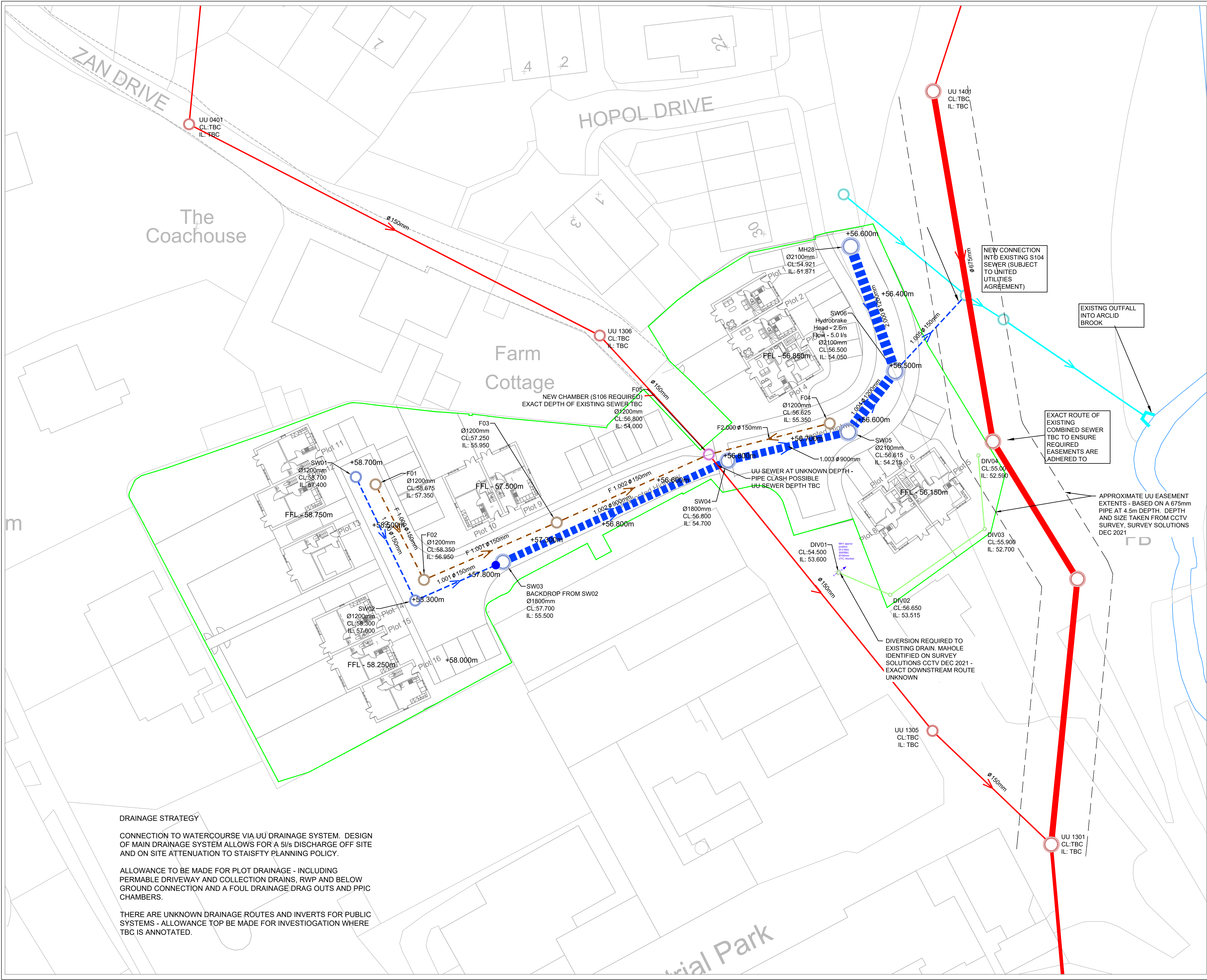
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Rev	Revision	Date	Dwn	Chkd
-	FIRST ISSUE	19/07/2022	BD	RG
A	Red line position altered, trees updated in line with arboricultural information, bin & cycle stores shown, site levels revised	25/08/2022	BD	RG
B	Drawing includes proposed section D-D information found previously on redundant drawing A1(0)106	26/08/2022	BD	RG
C	PLANNING ISSUE.	23/09/2022	BD	RG
D	Red and blue lines revised to include new footpath and pedestrian crossing	27/02/2023	BD	BD

Project	PROPOSED BUSINESS DEVELOPMENT COTTON FARM, HOLMES CHAPEL	Drawing Number							
Client	R. EVANS & S. CROKER	project	offsite	zone	level	type	role	number	rev
		CHH	TNW	- XX	- XX	- DR	- A	AL(0)105	D
Layout Title	PROPOSED SITE SECTIONS C-C & D-D	TNW Project No.	Scales @ A1		Status				
		22100652	1:500		PLANNING				
		I: Designer: 01244 2430861 Newcastle Head Office: 0191 265 7080 / 0191 213 9133 e: enquiries@newarchitecture.co.uk a: www.newarchitecture.co.uk www.architects-group.com Copyright: TNW Ltd.							

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KEY

- EXISTING SURFACE WATER SEWER
- EXISTING COMBINED SEWER
- PROPOSED SURFACE WATER DRAIN
- PROPOSED FOUL WATER DRAIN
- PROPOSED PRIVATE DRAIN DIVERSION
- +56.000
- OUTLINE PROPOSED LEVEL
- SITE BOUNDARY

DRAINAGE STRATEGY

CONNECTION TO WATERCOURSE VIA UU DRAINAGE SYSTEM. DESIGN OF MAIN DRAINAGE SYSTEM ALLOWS FOR A 5/s DISCHARGE OFF SITE AND ON SITE ATTENUATION TO STAISFTY PLANNING POLICY.

ALLOWANCE TO BE MADE FOR PLOT DRAINAGE - INCLUDING PERMABLE DRIVEWAY AND COLLECTION DRAINS, RWP AND BELOW GROUND CONNECTION AND A FOUL DRAINAGE DRAG OUTS AND PPIC CHAMBERS.

THERE ARE UNKNOWN DRAINAGE ROUTES AND INVERTS FOR PUBLIC SYSTEMS - ALLOWANCE TOP BE MADE FOR INVESTIGATION WHERE TBC IS ANNOTATED.

No	DATE	DRAWN	REV'D	ENG.	AMENDMENT
P2	05.10.21	JF	PB		PRELIMINARY ISSUE
P1	05.10.21	EJD	EJD		PRELIMINARY ISSUE

STATUS	PURPOSE OF ISSUE
S2	FOR INFORMATION

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RIDGE

CLIENT
FRANSTEP LTD

PROJECT
MEADOWBANK AVENUE,
SANDBACH

DRAFTER
AS

ENGINEER
EJD

TITLE
DRAINAGE STRATEGY PLAN

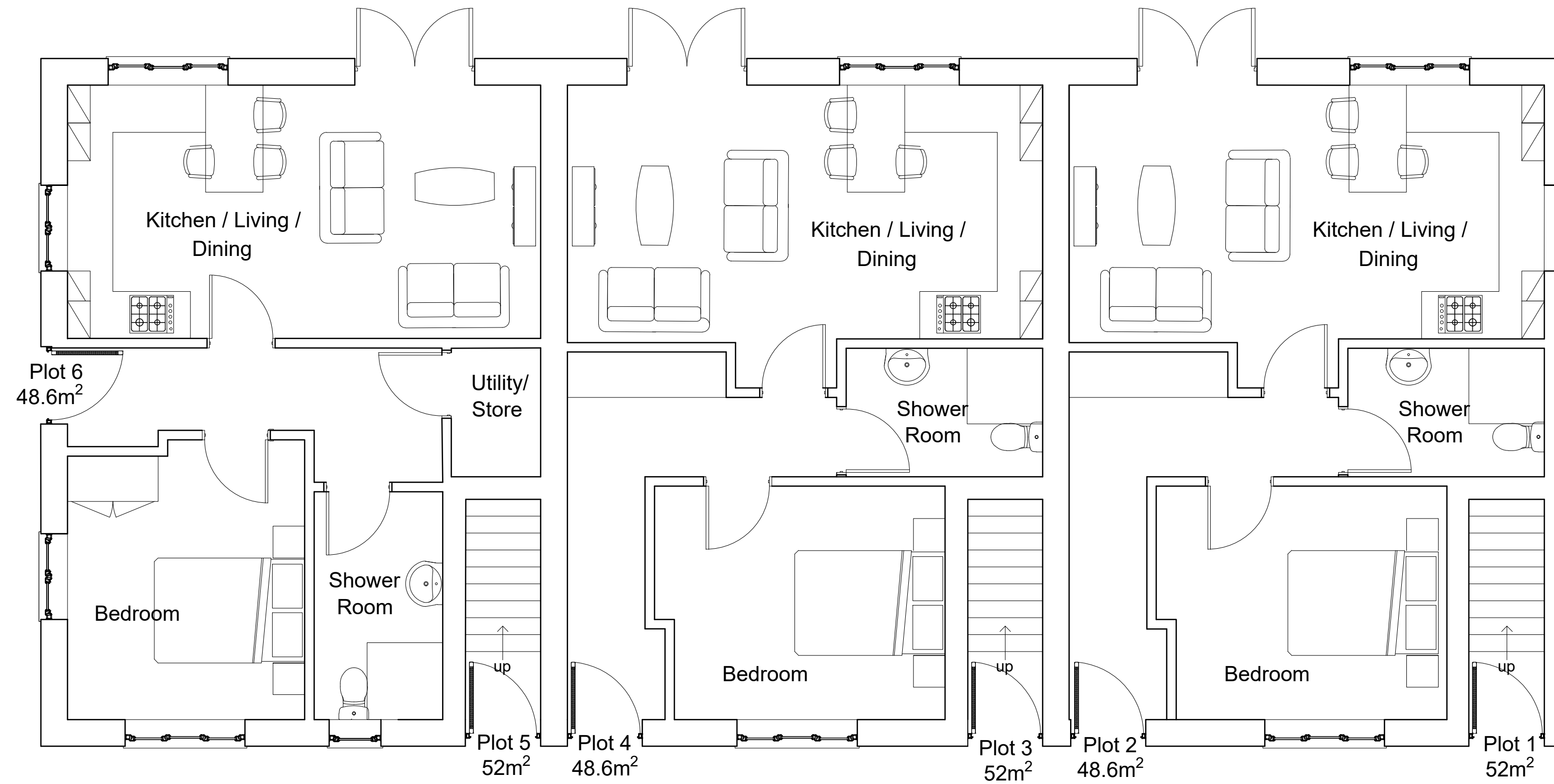
SCALE
1-250

SHEET
A1

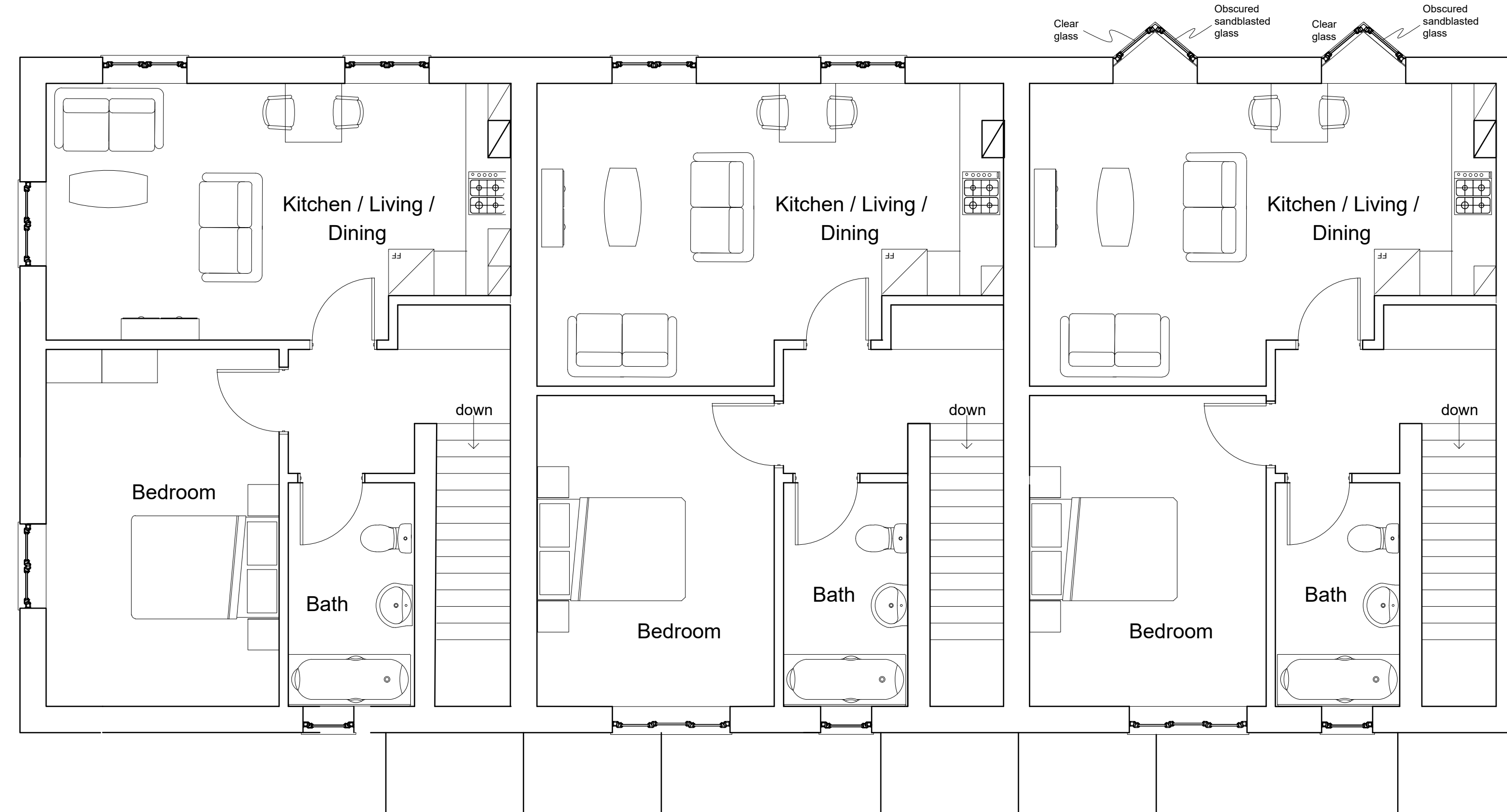
DRAWING No
MBA-RDG-00-ZZ-DR-C-0100

REV
P2

Plots 1, 2, 3, 4, 5 & 6



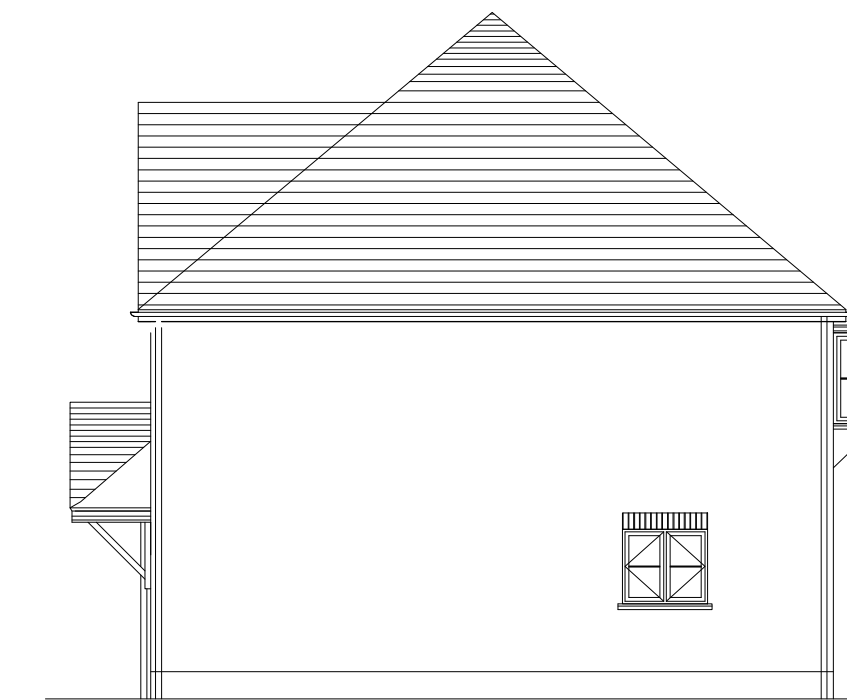
Proposed Ground Floor Plan
Scale 1:50



Proposed First Floor Plan
Scale 1:50



Proposed Front Elevation
Scale 1:100



Proposed Side Elevation
Scale 1:100



Proposed Side Elevation
Scale 1:100



Proposed Rear Elevation
Scale 1:100

[illegible]

NOTES

All building work is to conform with full planning approval, application drawings and stipulated planning conditions approved by the Local Planning Authority.

All building work is to conform with 1991 Building Regulations and all subsequent revised documents and to the satisfaction of the building control officer or equally approved.

The contractor is to check all dimensions and conditions on site before commencing. Figures/dimensions stated on drawings are to be taken as correct. All adjoining properties are indicative layouts and are not to be scaled.

Drawing to be read in conjunction with the Employers Requirements and relevant specification documents.

It is intended that this drawing had been produced and issued for sole purpose noted on the title block it is not intended that this drawing be used for any other person or for any other purpose.

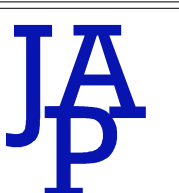
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Land Off Meadowbank Avenue
Wheelock, Sandbach

DRAWING NAME:
Proposed House Type F
(Plot 1, 2, 3, 4, 5 & 6)

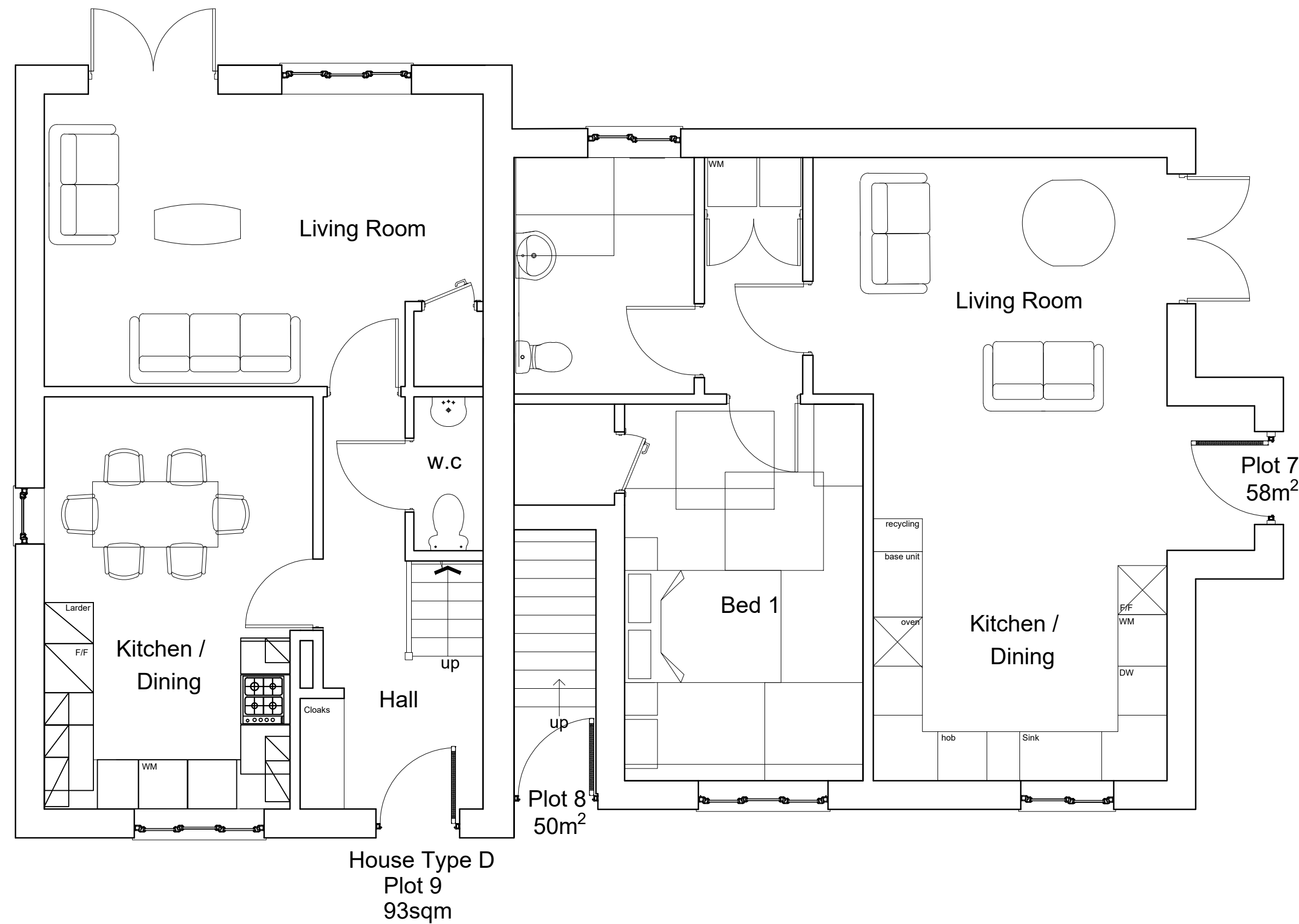
DRAWING:- 1243 -406 Planning	Rev
	C

SCALE: Various @ A1 **DATE:** Sept 2022

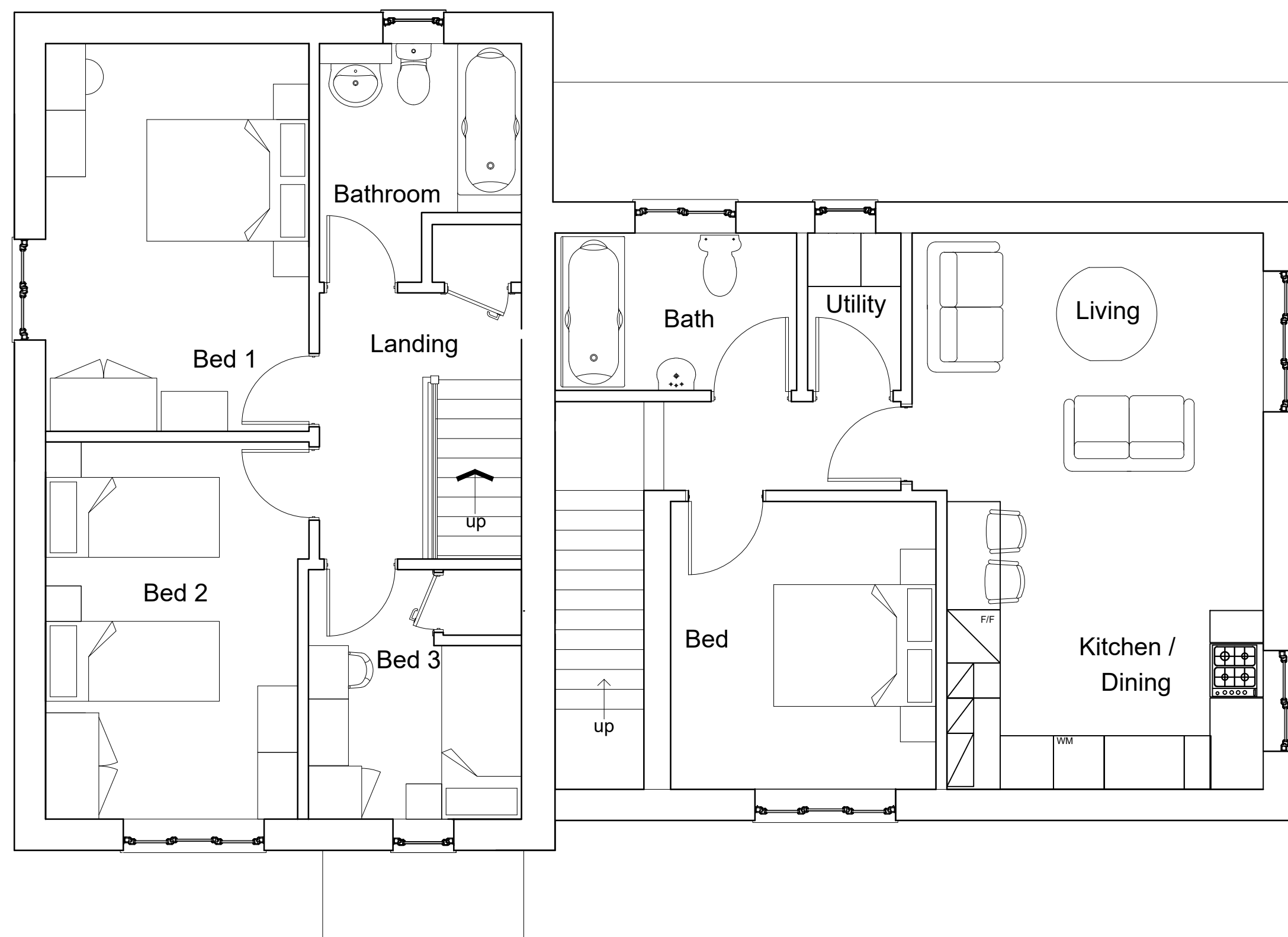


Jay Ashall Partnership
Chartered Architects

Plots 7, 8 & 9



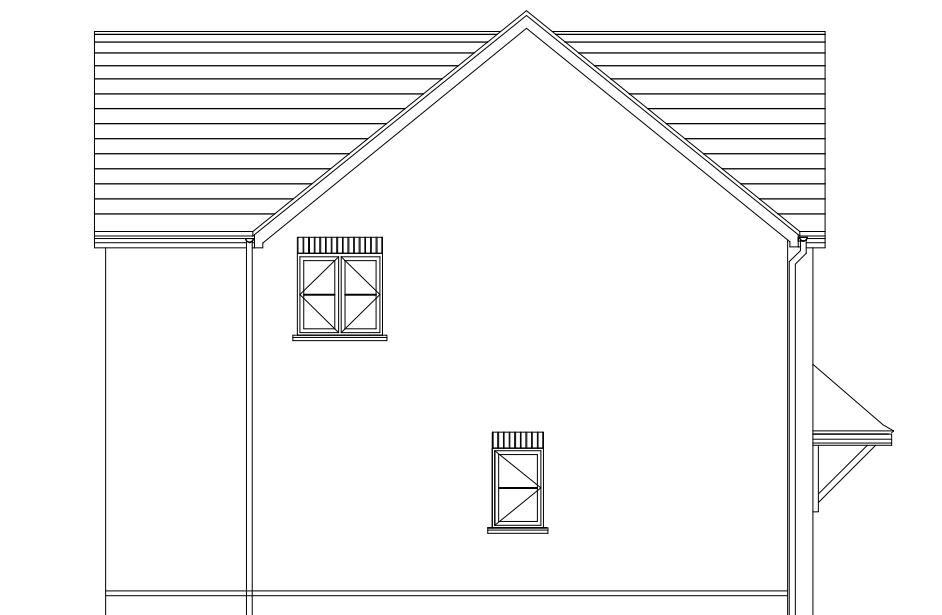
Proposed Ground Floor Plan
Scale 1:50



Proposed First Floor Plan
Scale 1:50



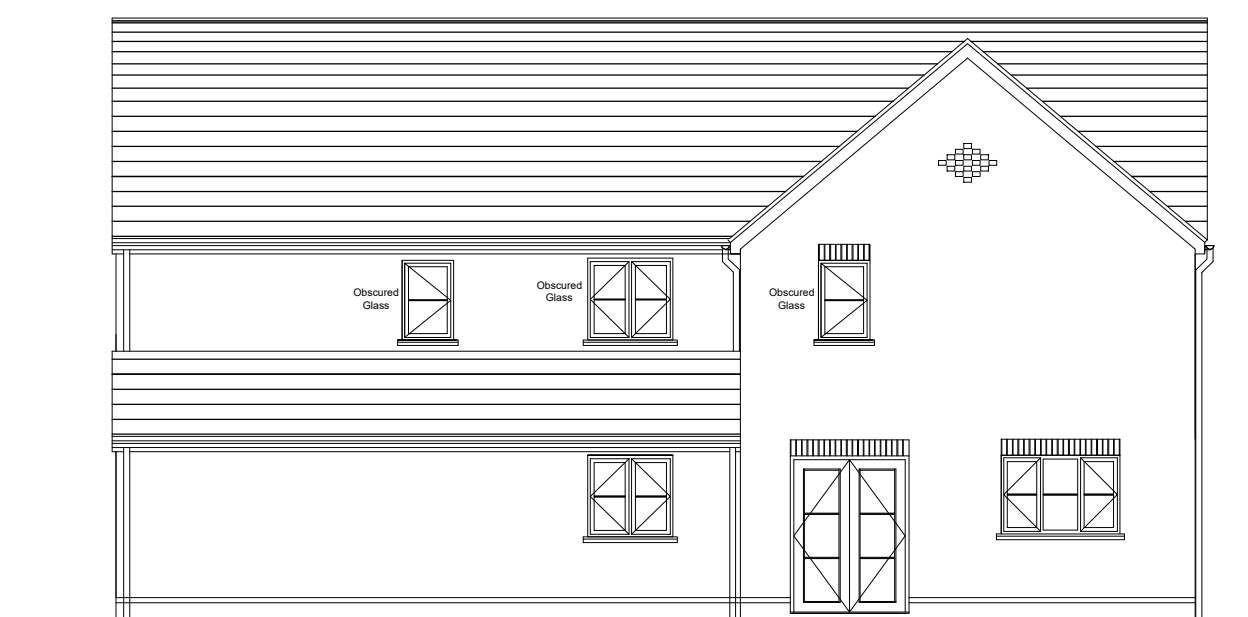
Proposed Front Elevation
Scale 1:100



Proposed Side Elevation
Scale 1:100



Proposed Side Elevation
Scale 1:100



Proposed Rear Elevation
Scale 1:100

[illegible]

NOTES

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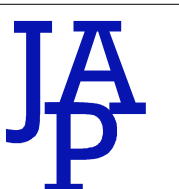
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Land Off Meadowbank Avenue
Wheelock, Sandbach

DRAWING NAME:
Proposed House Type G & H
(Plot 7, 8 & 9)

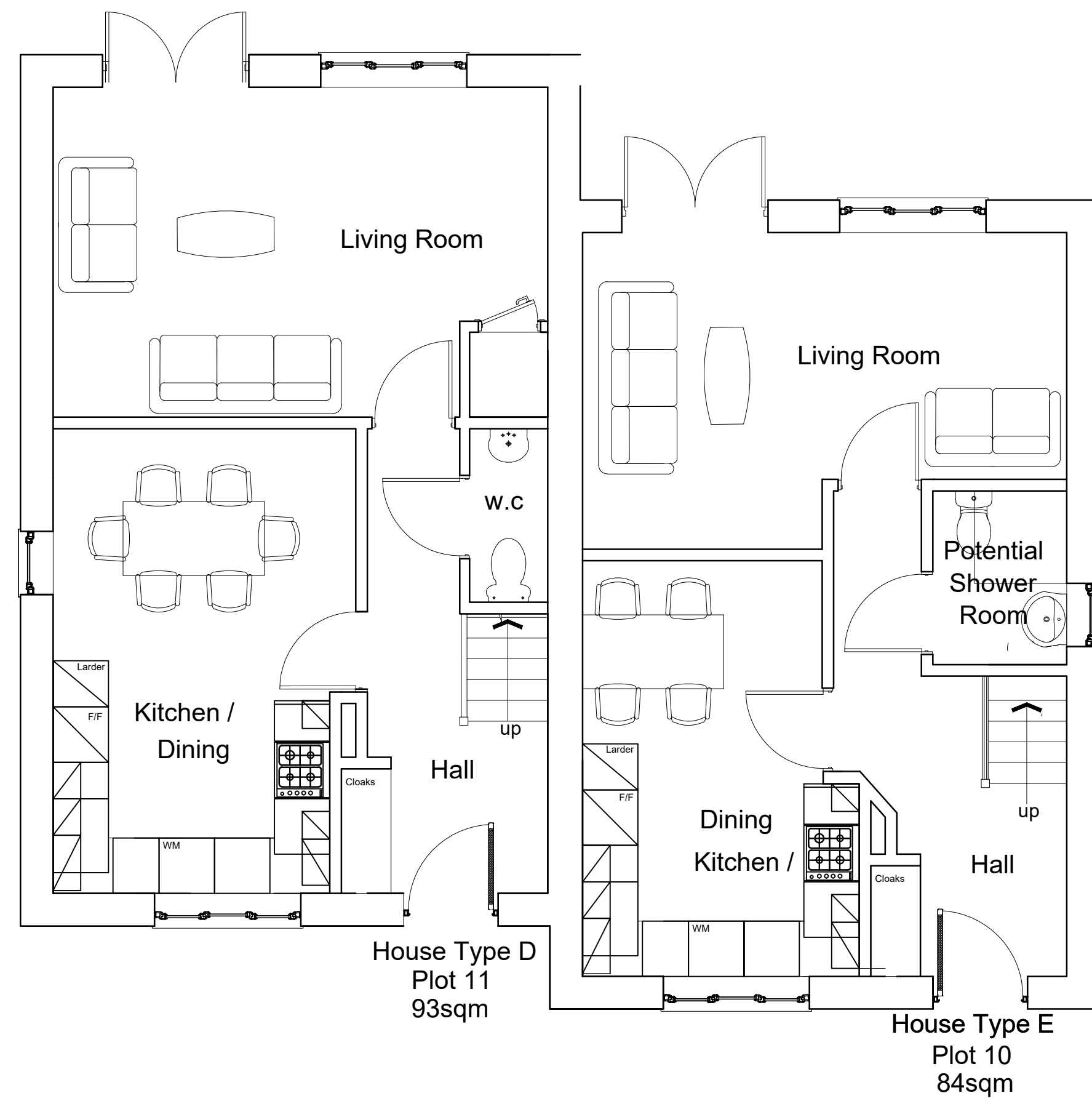
DRAWING:- 1243 - 407 Planning	Rev
	E

SCALE: Various @ A1 **DATE:** Sept 2021



Jay Ashall Partnership
Chartered Architects

Plot 10 & 11



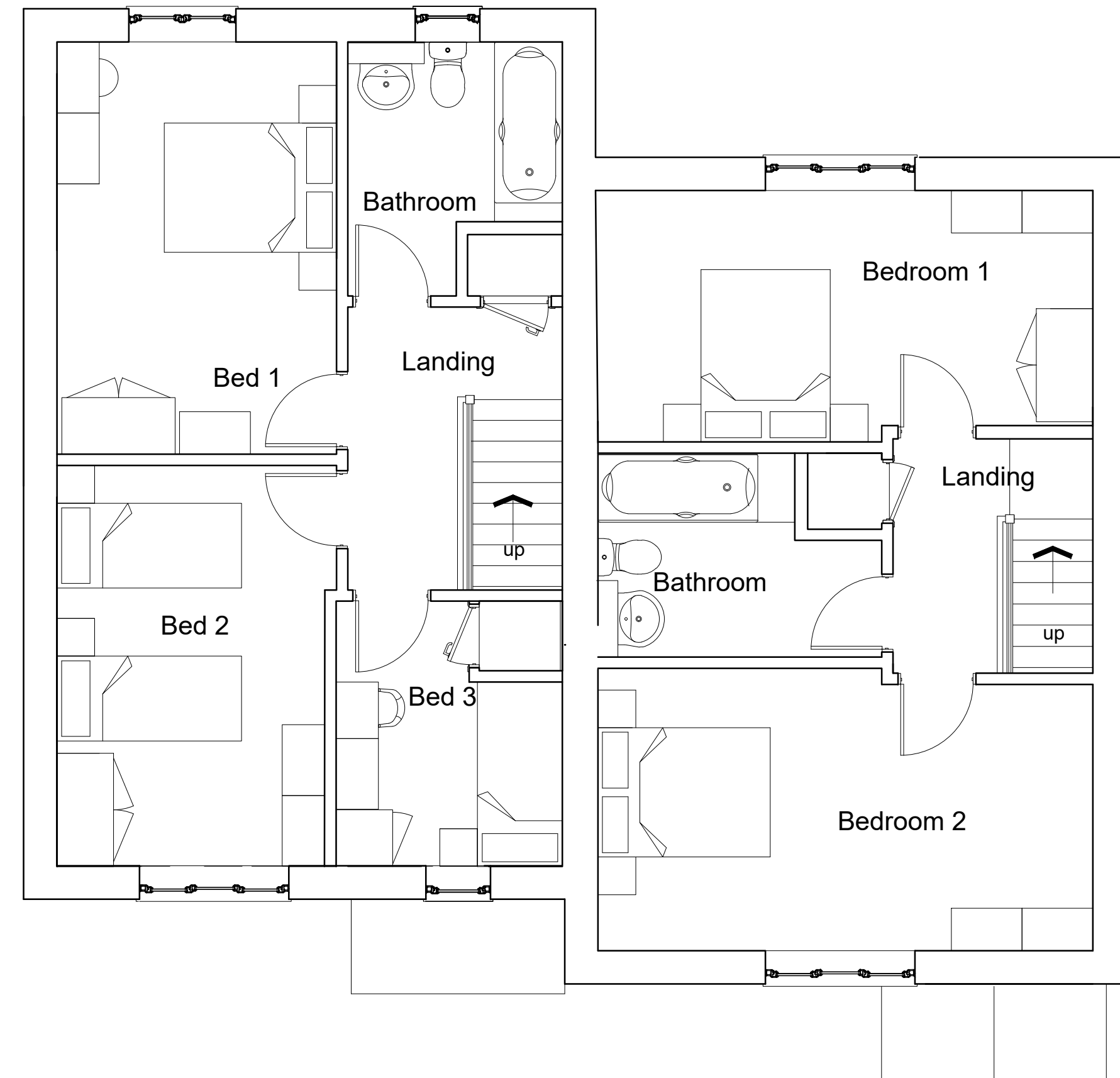
Proposed Ground Floor Plan
Scale 1:50



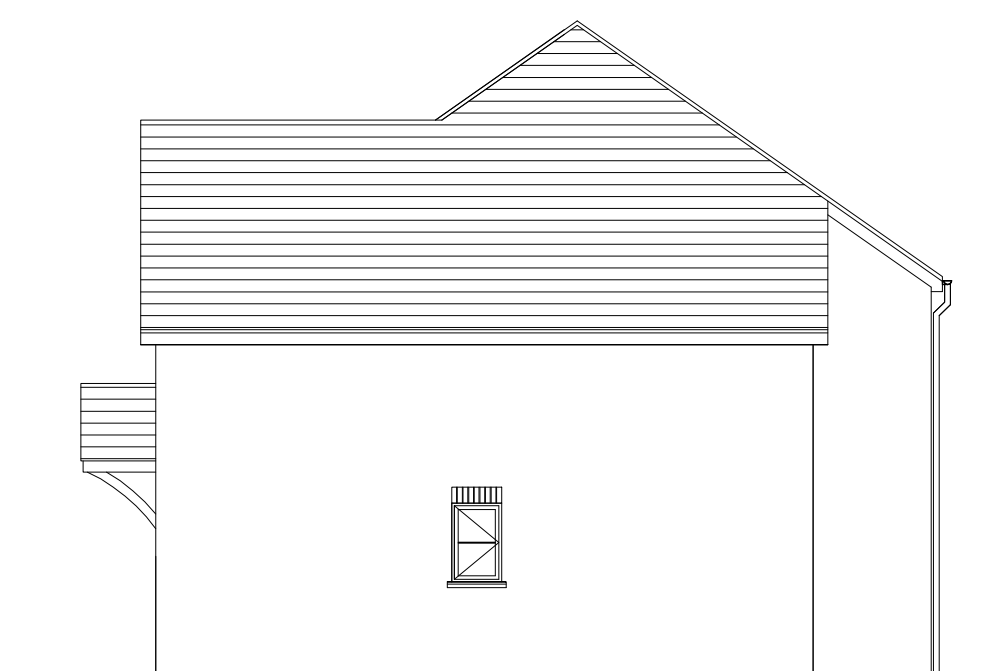
Proposed Front Elevation
Scale 1:100



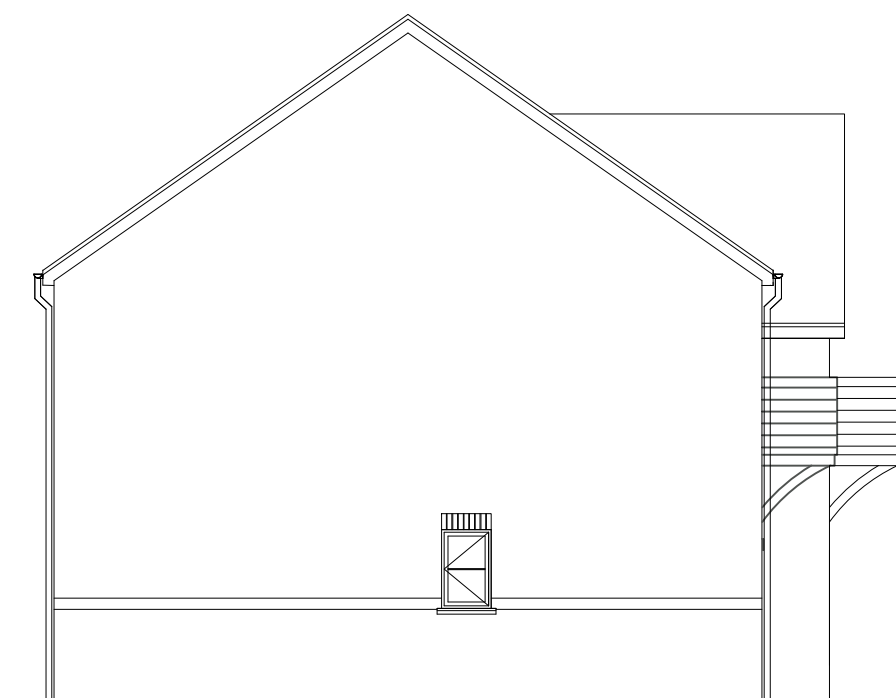
Proposed Rear Elevation
Scale 1:100



Proposed First Floor Plan
Scale 1:50



Proposed side Elevation
Scale 1:100



Proposed Side Elevation
Scale 1:100

[illegible]

NOTES

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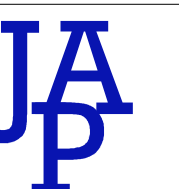
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Land Off Meadowbank Avenue
Wheelock, Sandbach

DRAWING NAME:
Proposed House Type D & E
(Plot 10 & 11)

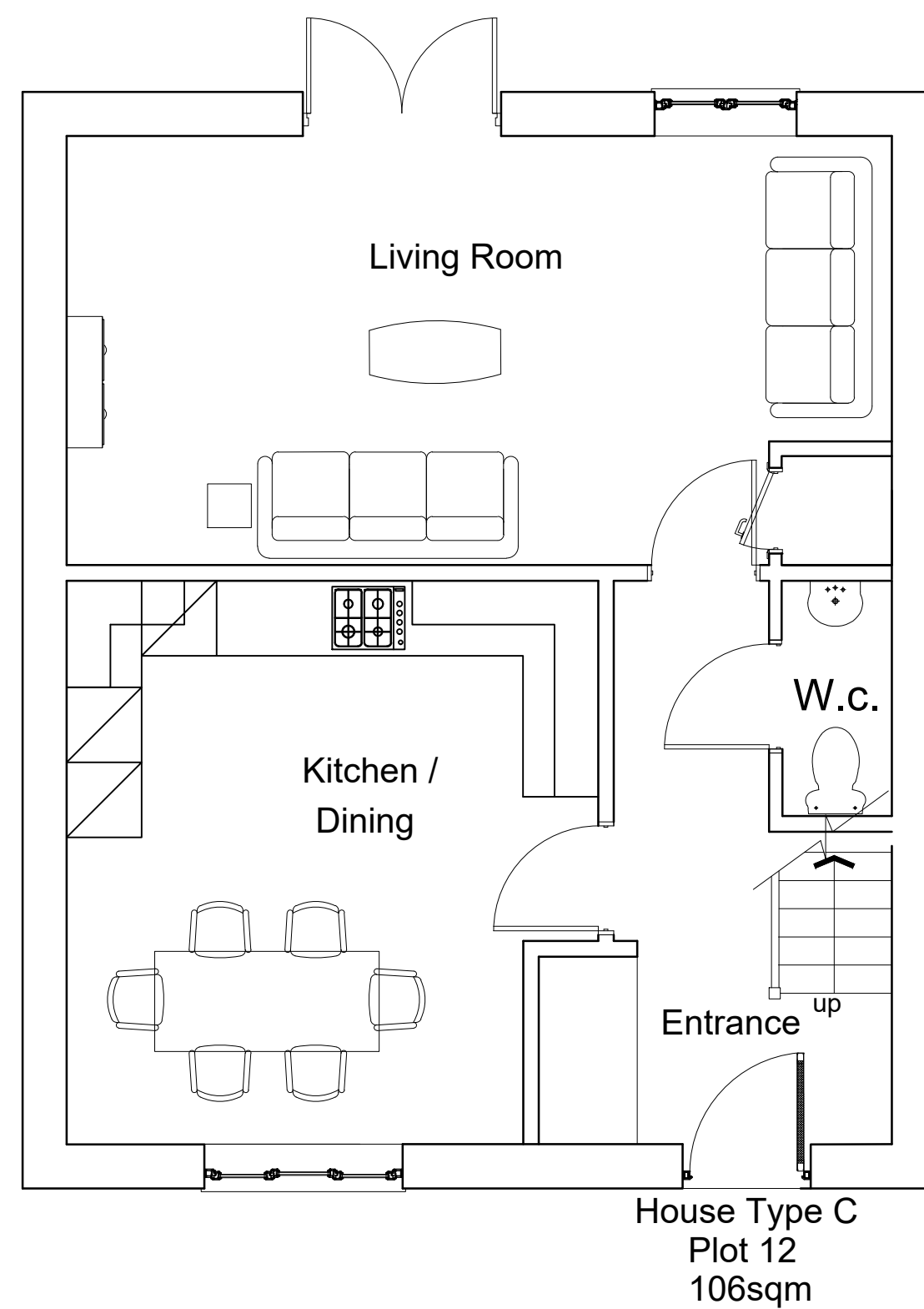
DRAWING:- 1243 - 405 Planning	Rev
	E

SCALE: Various @ A1 **DATE:** Sept 2022

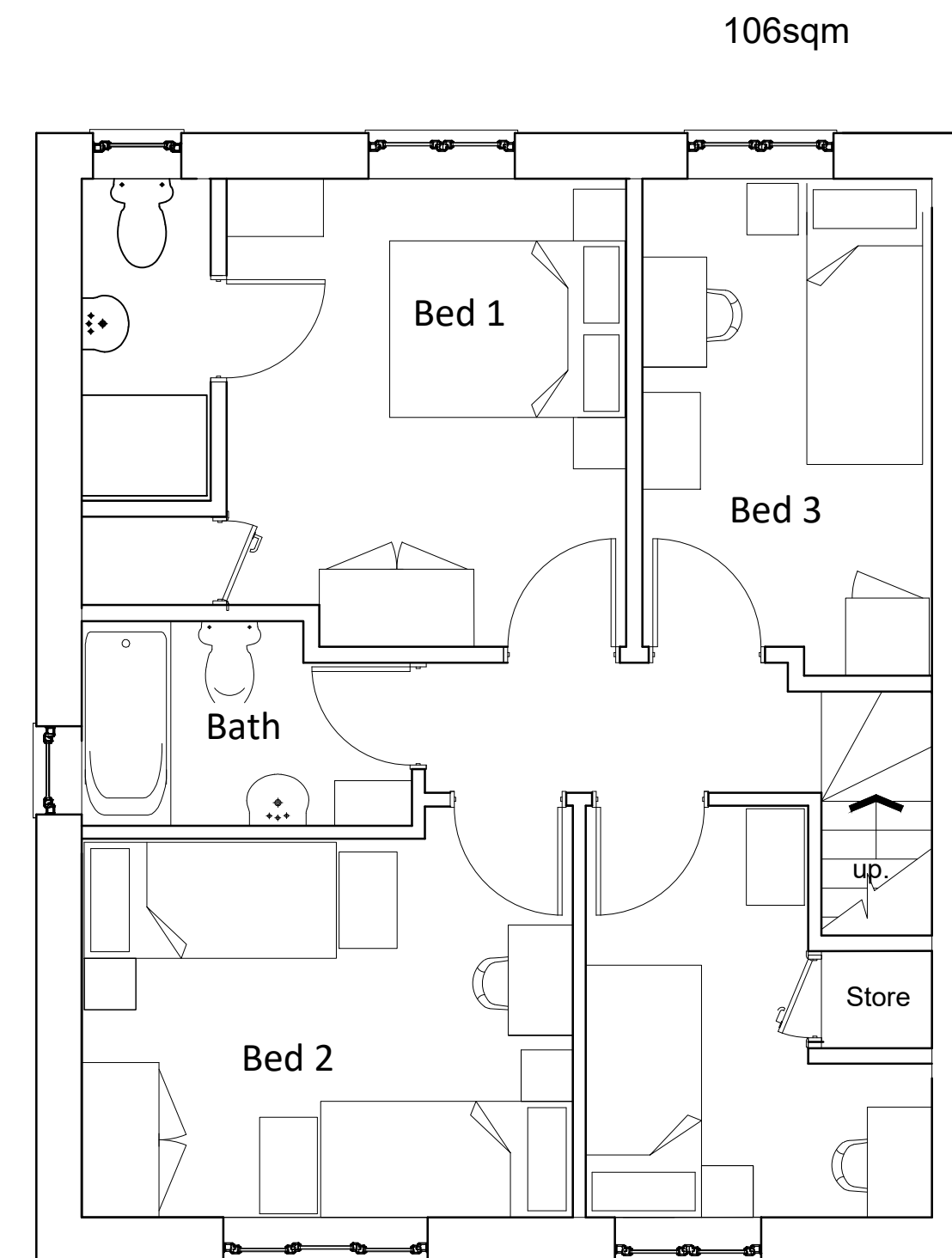


Jay Ashall Partnership
Chartered Architects

Plot 12



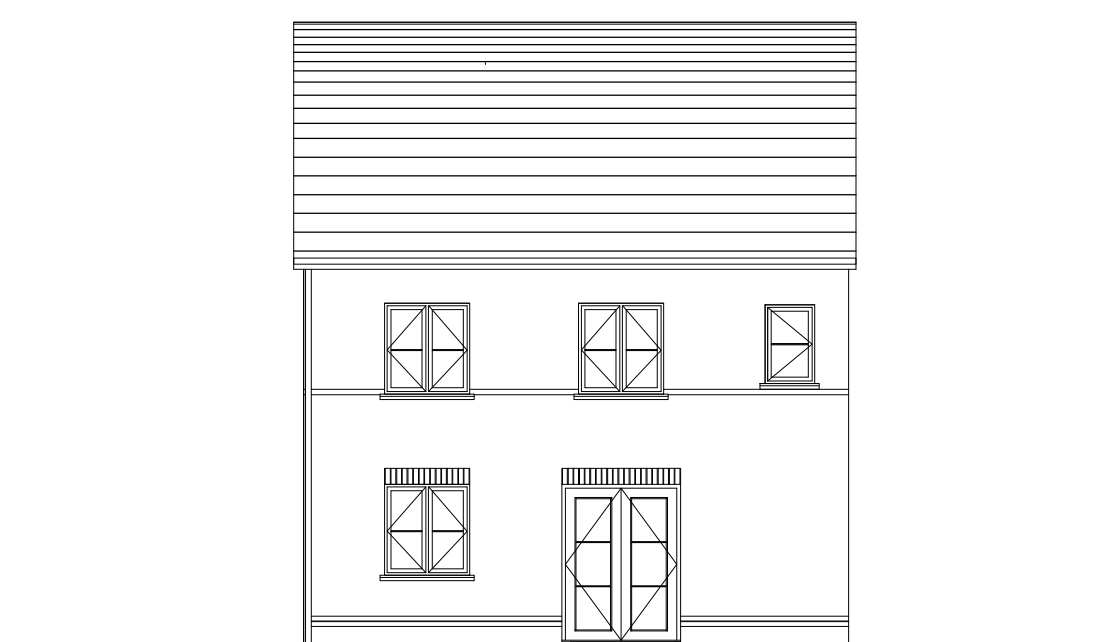
Proposed Ground Floor Plan
Scale 1:50



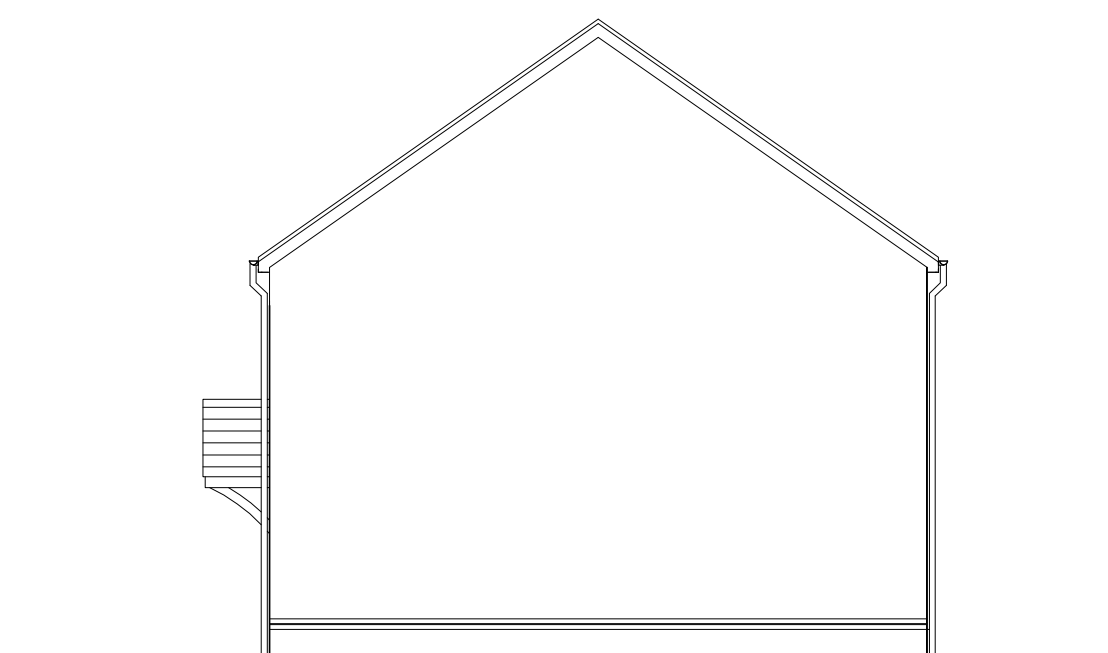
Proposed First Floor Plan
Scale 1:50



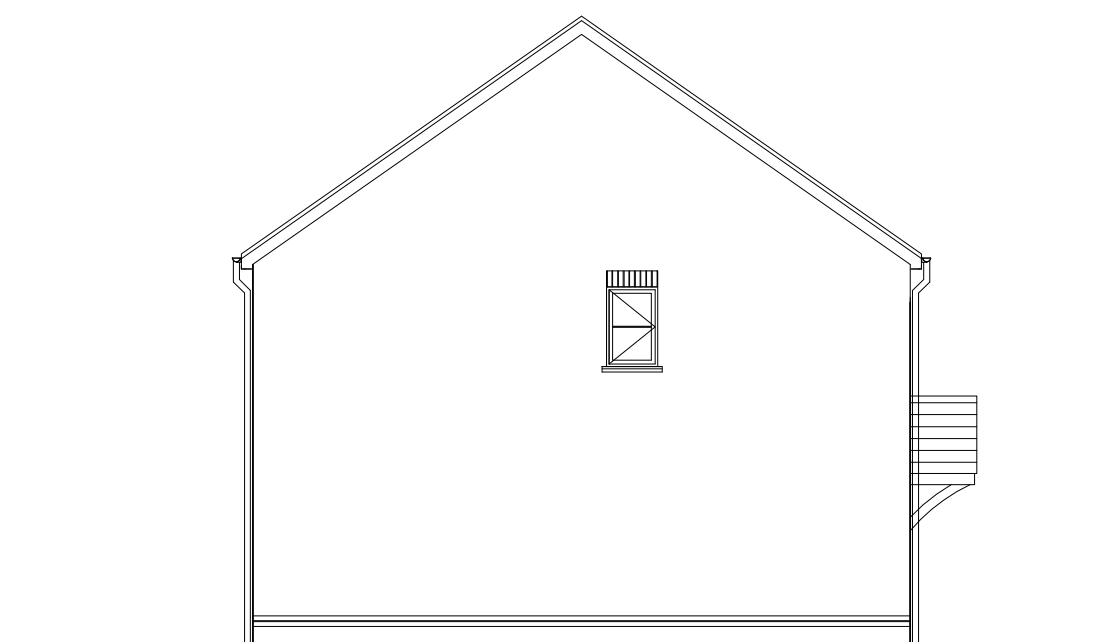
Proposed Front Elevation
Scale 1:100



Proposed Rear Elevation
Scale 1:100



Proposed Side Elevation
Scale 1:100



Proposed Side Elevation
Scale 1:100

[illegible]

NOTES

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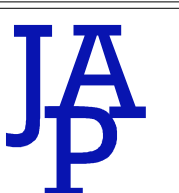
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Land Off Meadowbank Avenue
Wheelock, Sandbach

DRAWING NAME:
Proposed House Type C
(Plot 12)

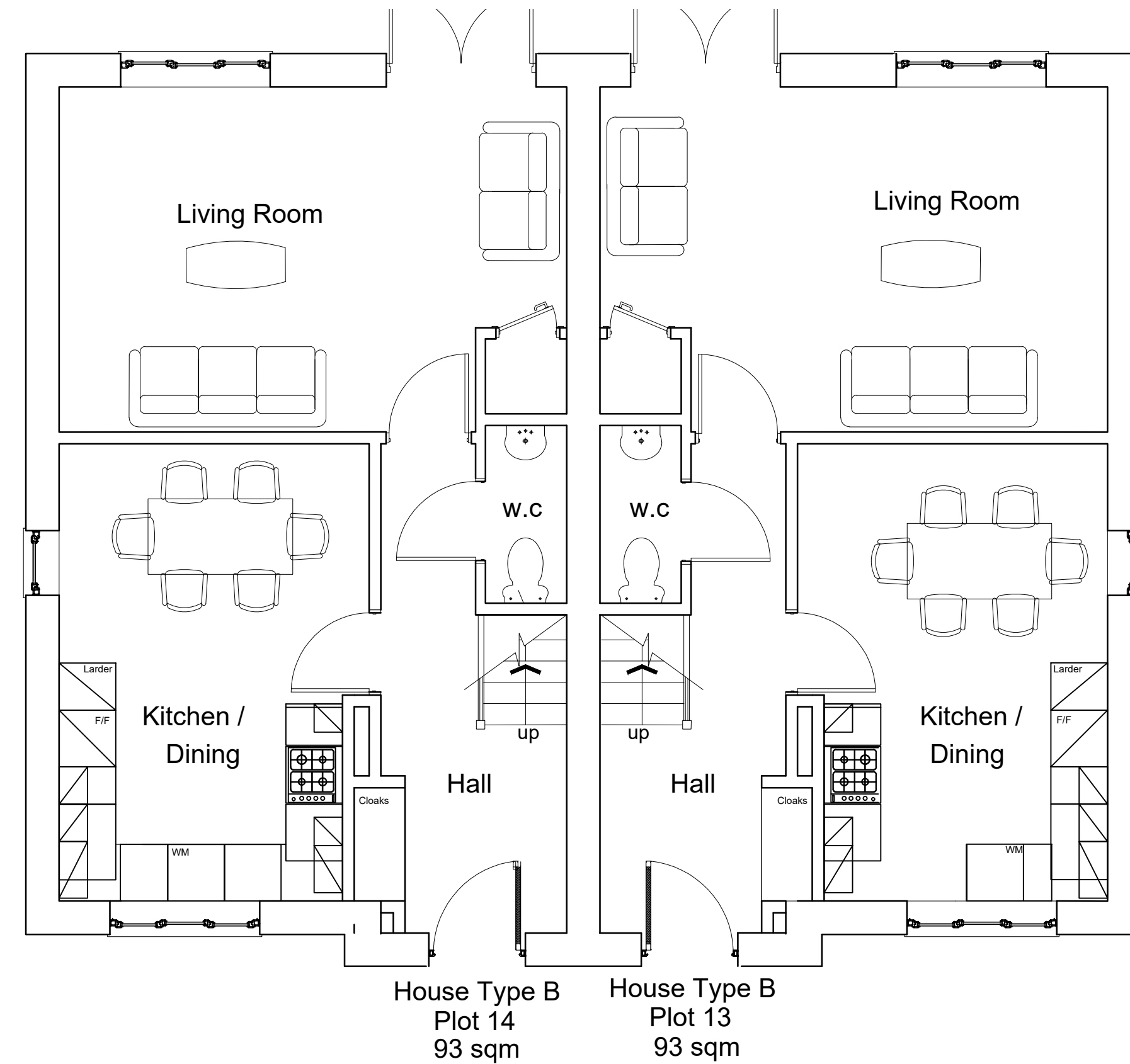
DRAWING:- 1243 - 404 Planning	Rev
	B

SCALE: Various @ A1 **DATE:** Sept 2022



Jay Ashall Partnership
Chartered Architects

Plots 13 & 14



Proposed Ground Floor Plan

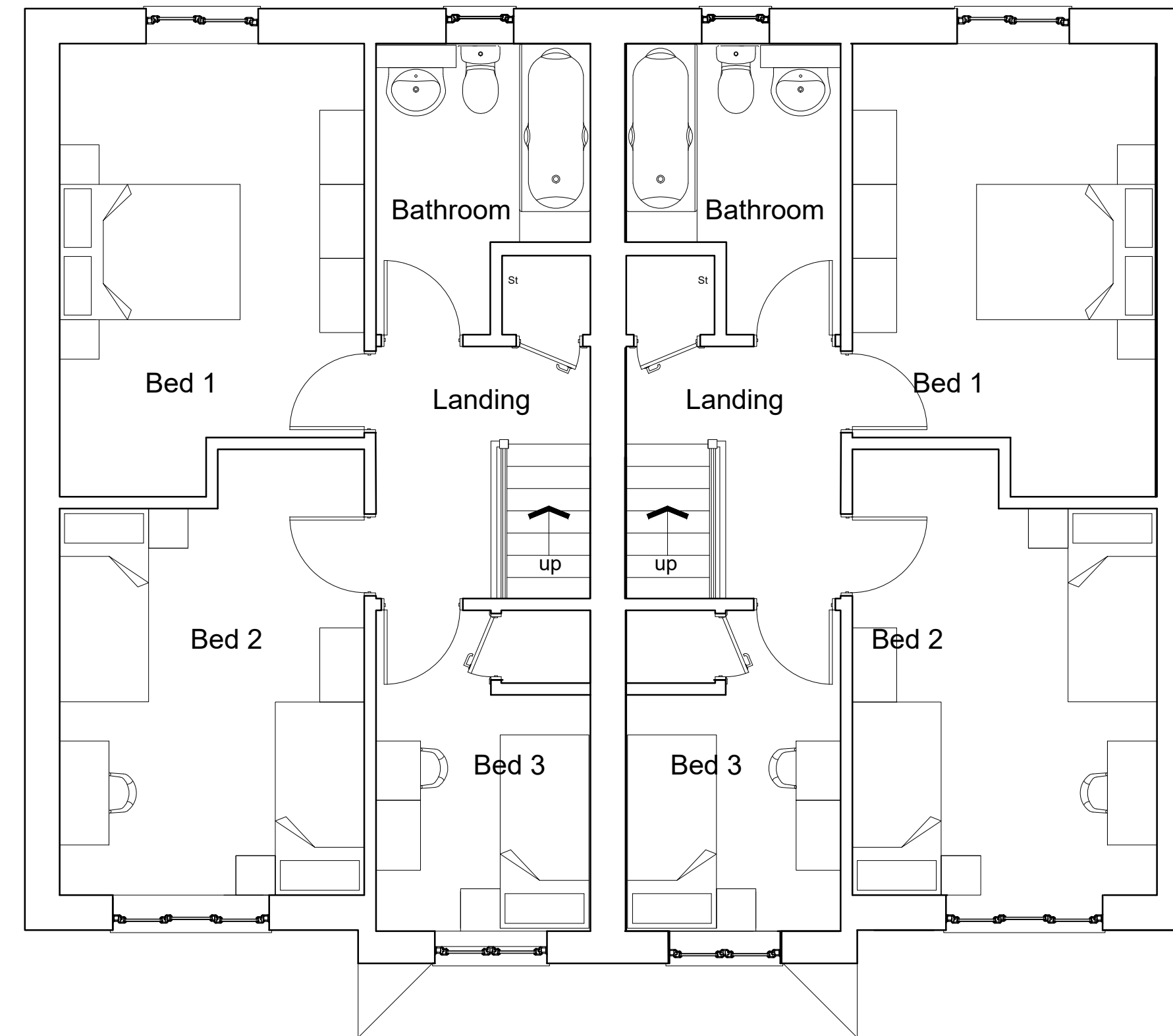
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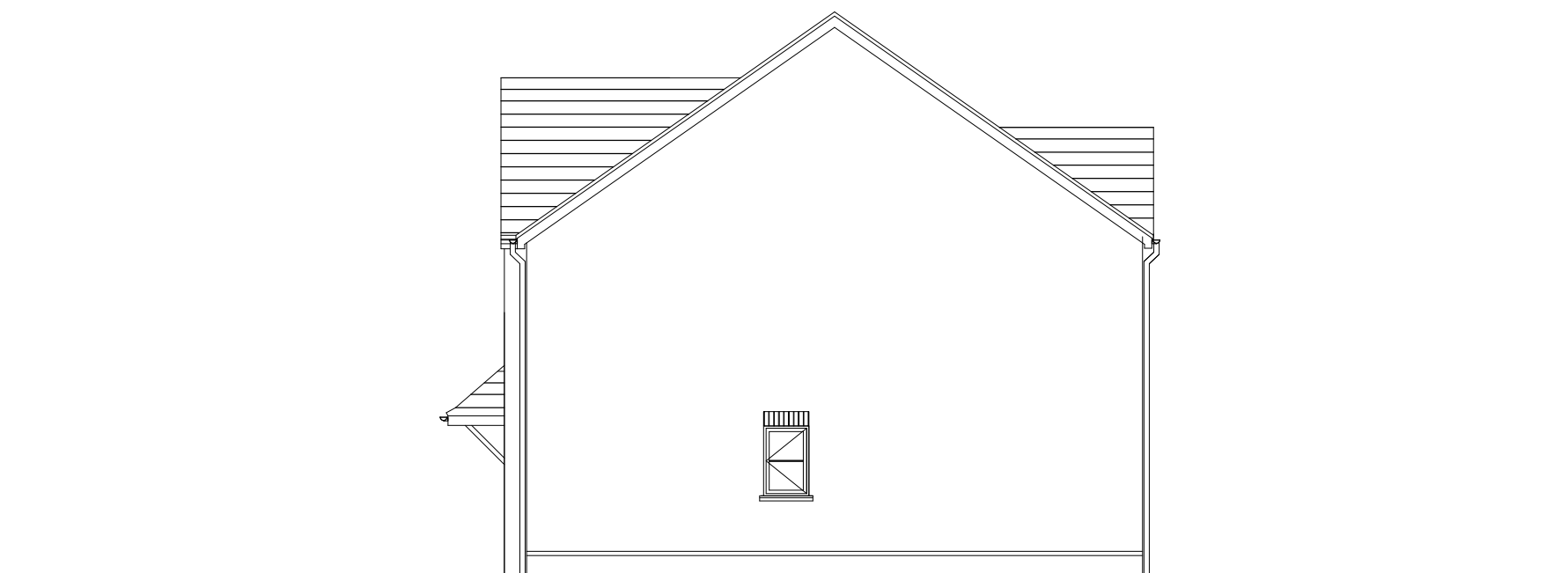
Proposed Front Elevation
Scale 1:100



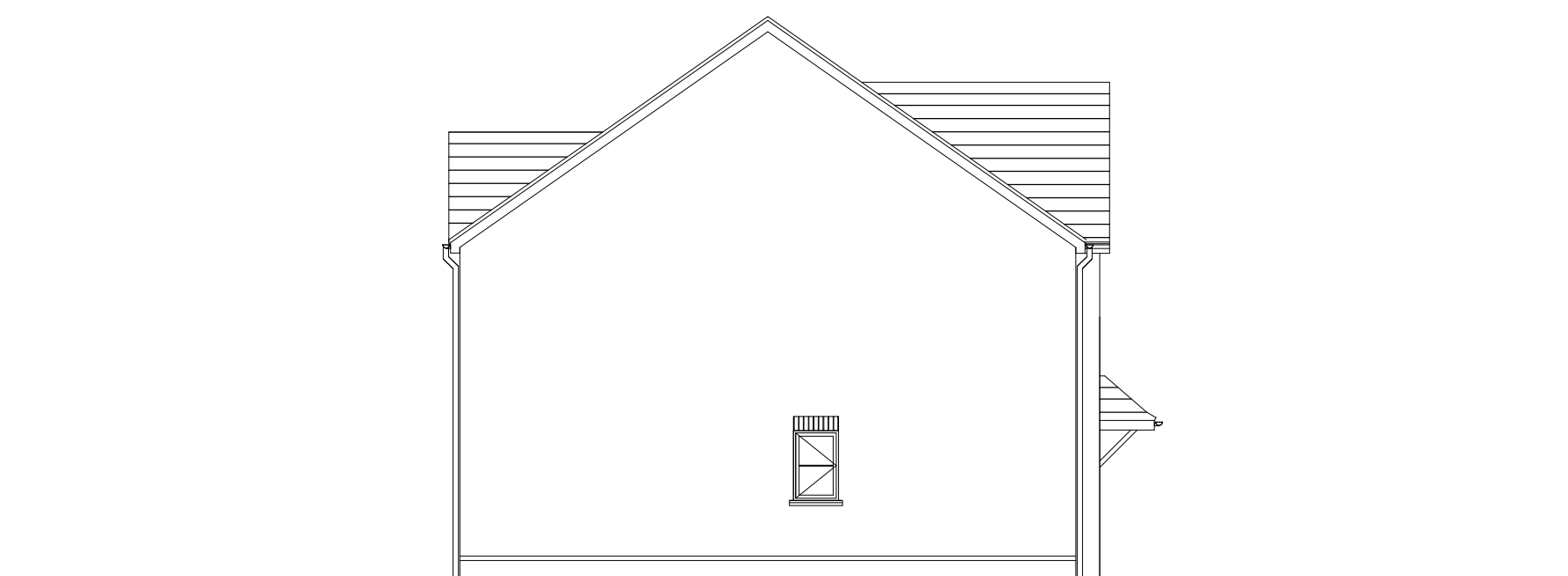
Proposed Rear Elevation
Scale 1:100



Proposed First Floor Plan
Scale 1:50



Proposed Side Elevation
Scale 1:100



Proposed Side Elevation
Scale 1:100

[illegible]

NOTES

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Drawing to be read in conjunction with the Employers Requirements and relevant specification documents.

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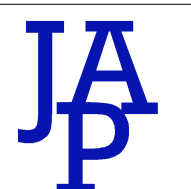
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Land Off Meadowbank Avenue
Wheelock, Sandbach

DRAWING NAME:
Proposed House Type B
(Plot 13 & 14)

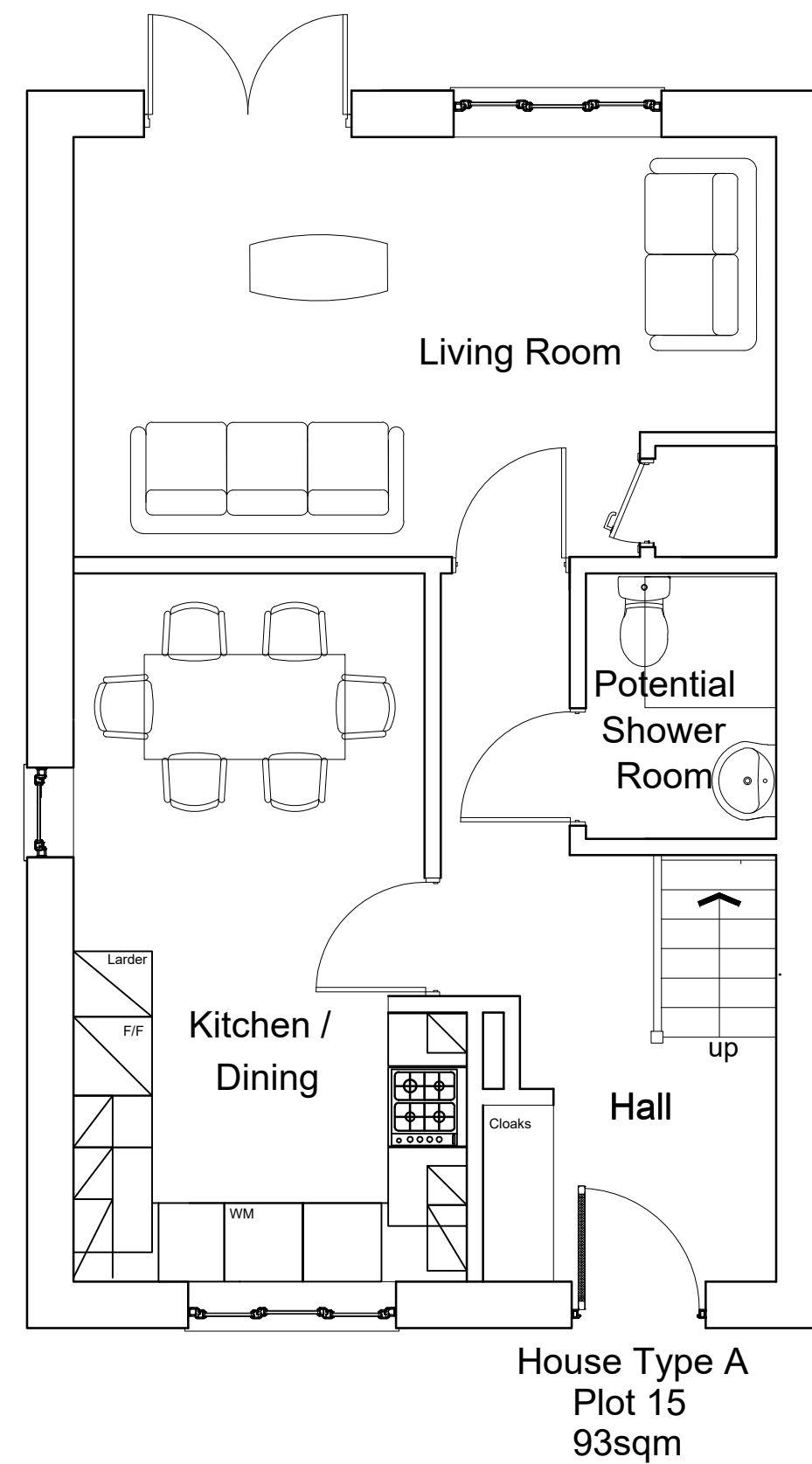
DRAWING:- 1243 -403 Planning	Rev
	C

SCALE: Various @ A1 **DATE:** Sept 2022



Jay Ashall Partnership
Chartered Architects

Plot 15



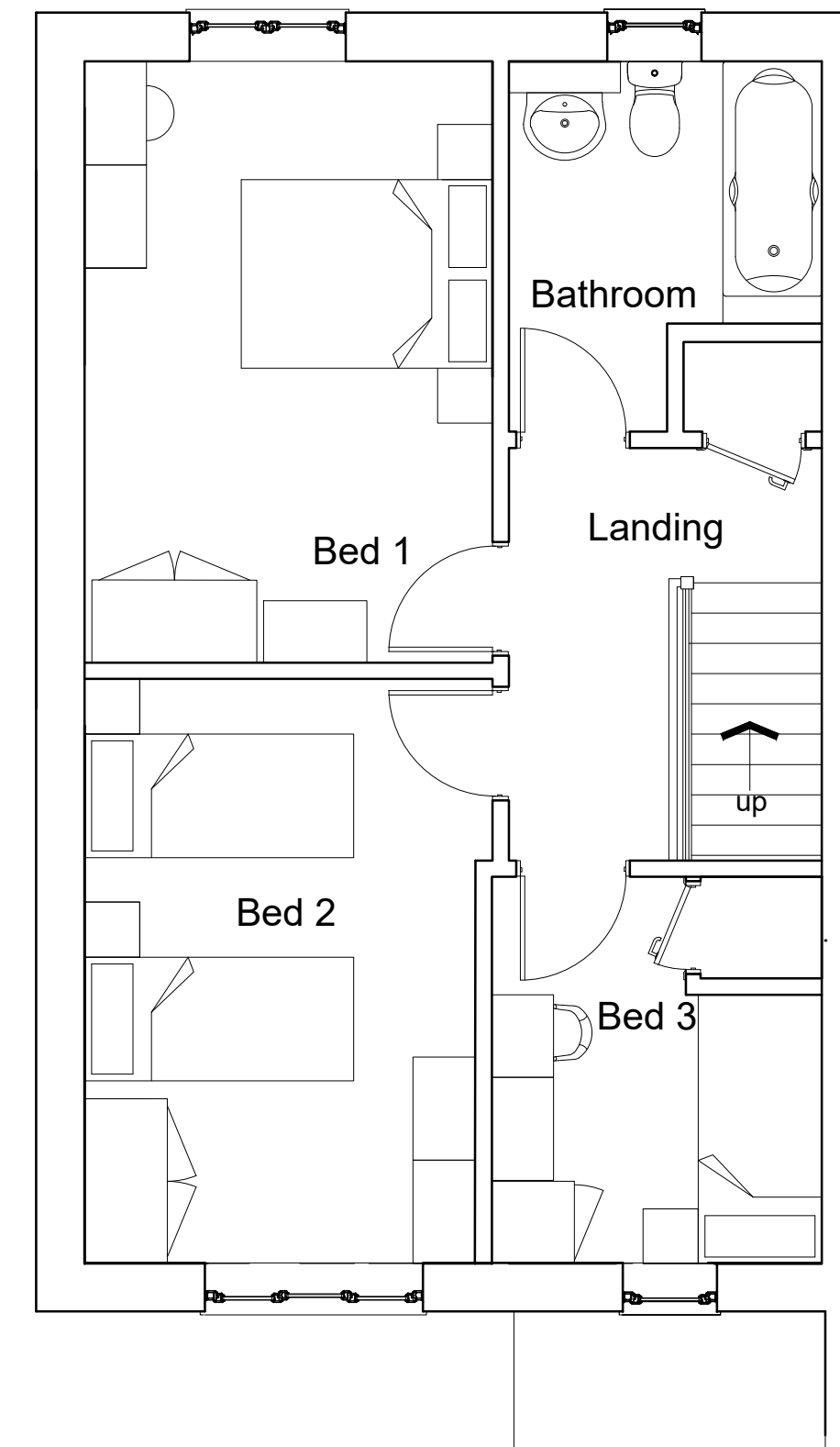
Proposed Ground Floor Plan
Scale 1:50



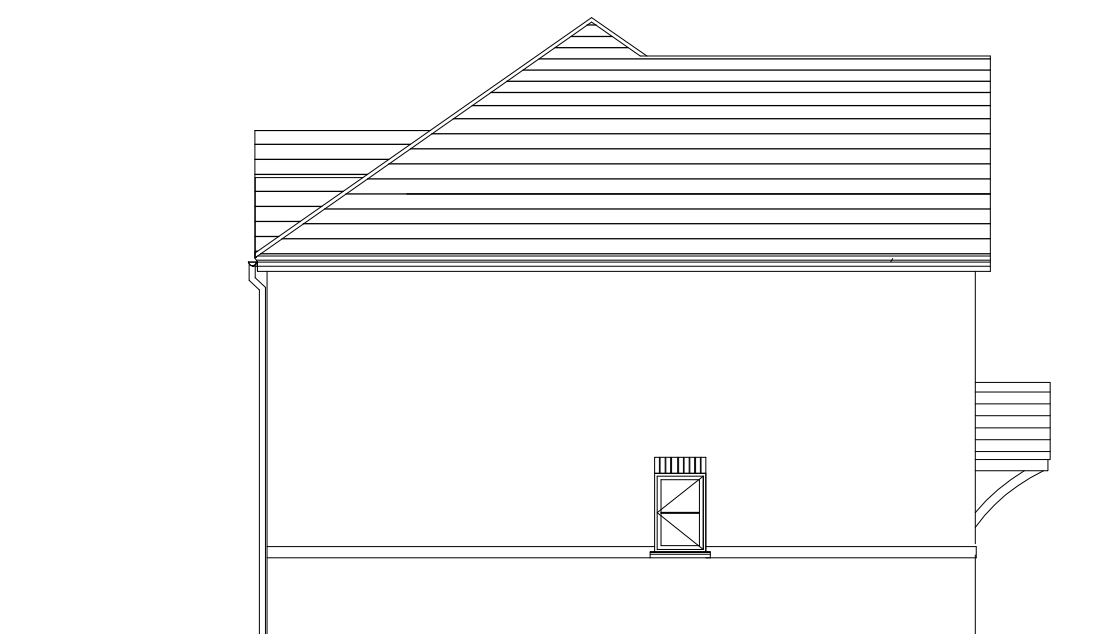
Proposed Front Elevation
Scale 1:100



Proposed Rear Elevation
Scale 1:100



Proposed First Floor Plan
Scale 1:50



Proposed Side Elevation
Scale 1:100

[illegible]

NOTES

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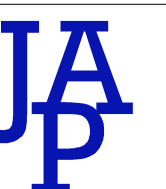
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Land Off Meadowbank Avenue
Wheelock, Sandbach

DRAWING NAME:
Proposed House Type A
(Plot 15)

DRAWING:- 1243 - 402 Planning	Rev
	C

SCALE: Various @ A1 **DATE:** Sept 2021



Jay Ashall Partnership
Chartered Architects

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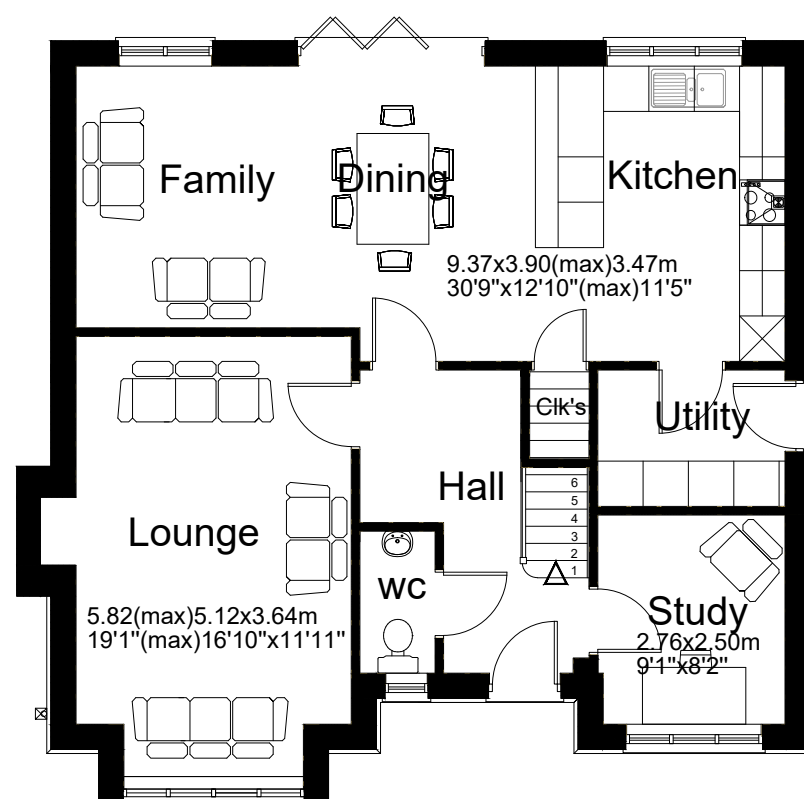
22/1485C

Land to the North of 24 Church Lane,
SANDBACH

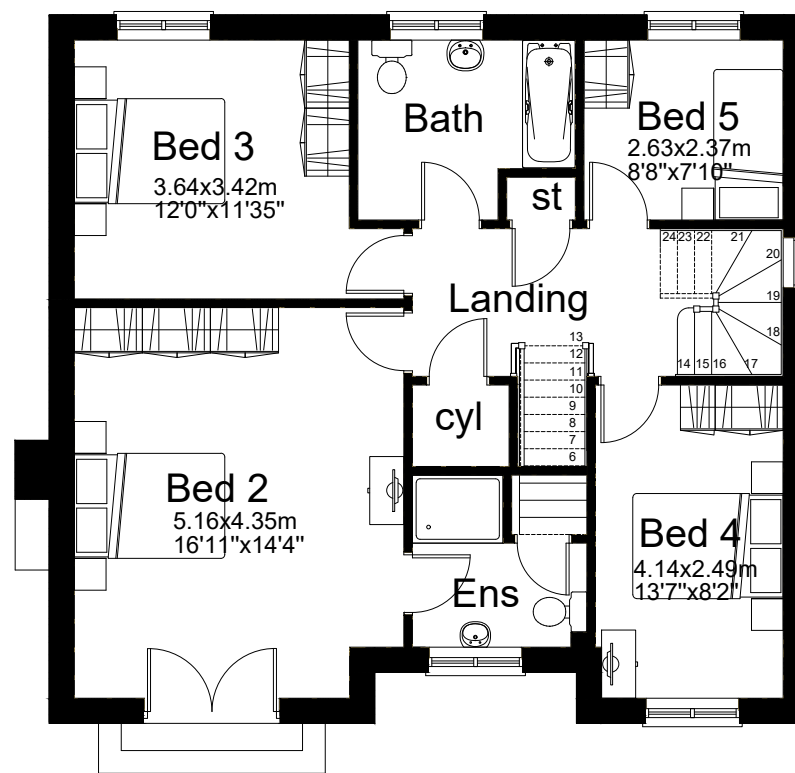
CW11 2LQ



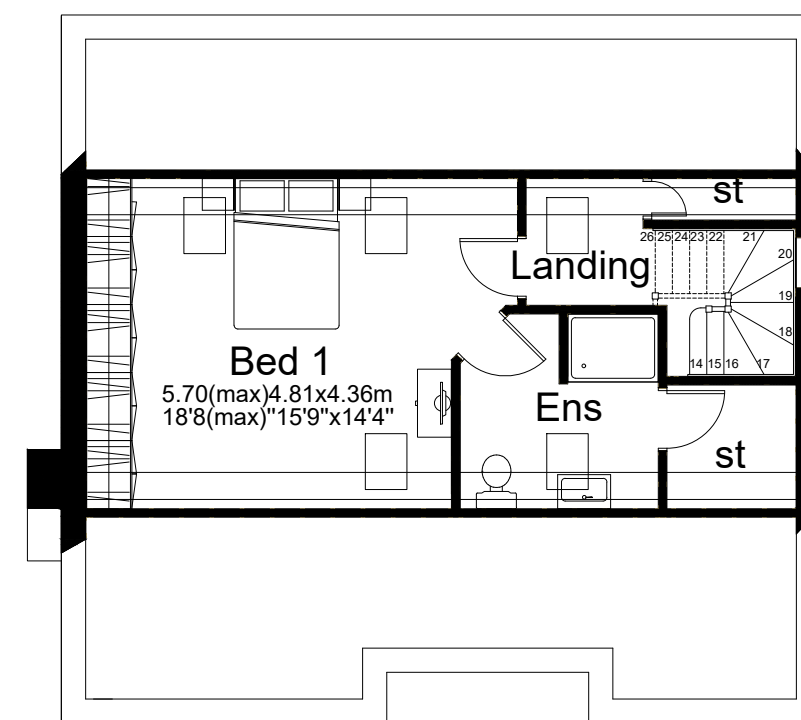




GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN

2150 SQFT 5 BED DETACHED
1:100@A3 April 2018 REV -

DCA David Crowder
ARCHITECTURE LTD.
 11 ASHTREE DRIVE, LITTLE NESTON, WIRRAL, CH64 9QP.
 Tel: 0151 739 0393 MOBILE 07914 398 670
 e mail: davidcrowderarchitecture@gmail.com
 www.dccarch.weebly.com

chelmere
 homes

PLOT 1,3,4,5 LAND OFF CHURCH LANE
SANDBACH, CHESHIRE
 SCALE 1:100 REV. / DRAWING No.
 DATE 06.04.18
 DRAWN DC
CSC/HTF/002



FRONT ELEVATION

SIDE ELEVATION



REAR ELEVATION

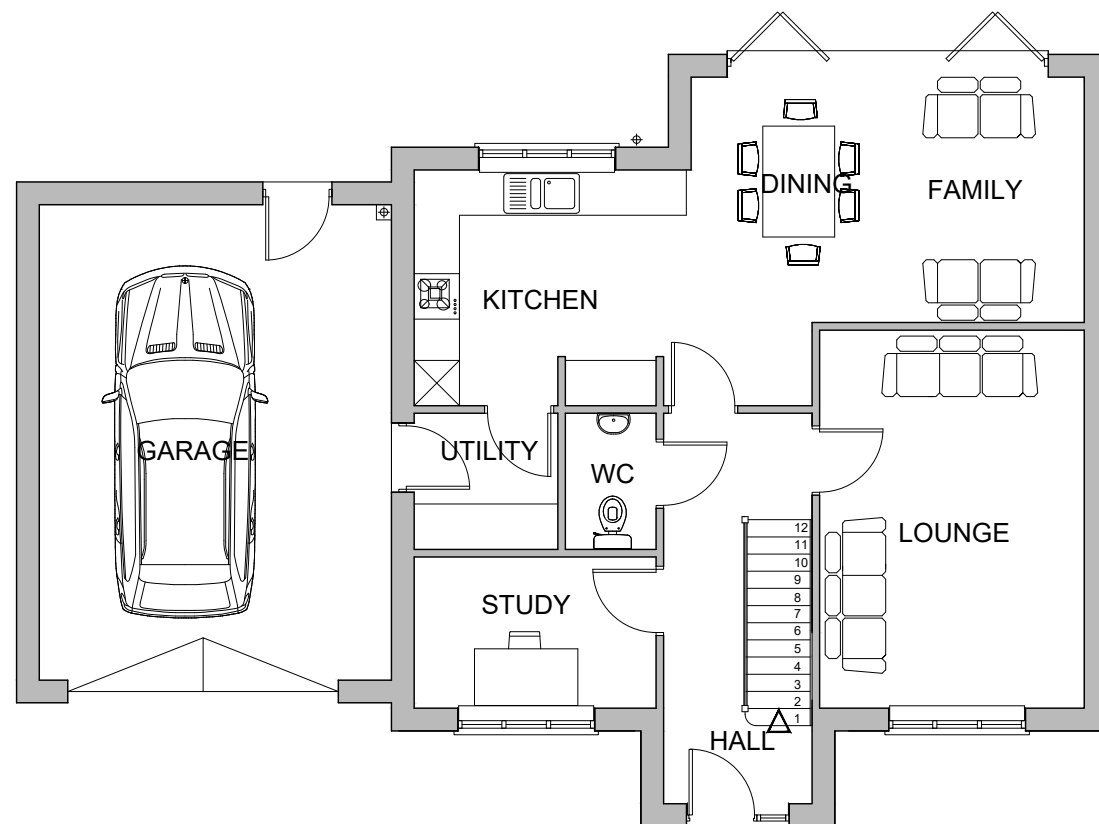
SIDE ELEVATION

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1:100@A3 April 2018 REV -

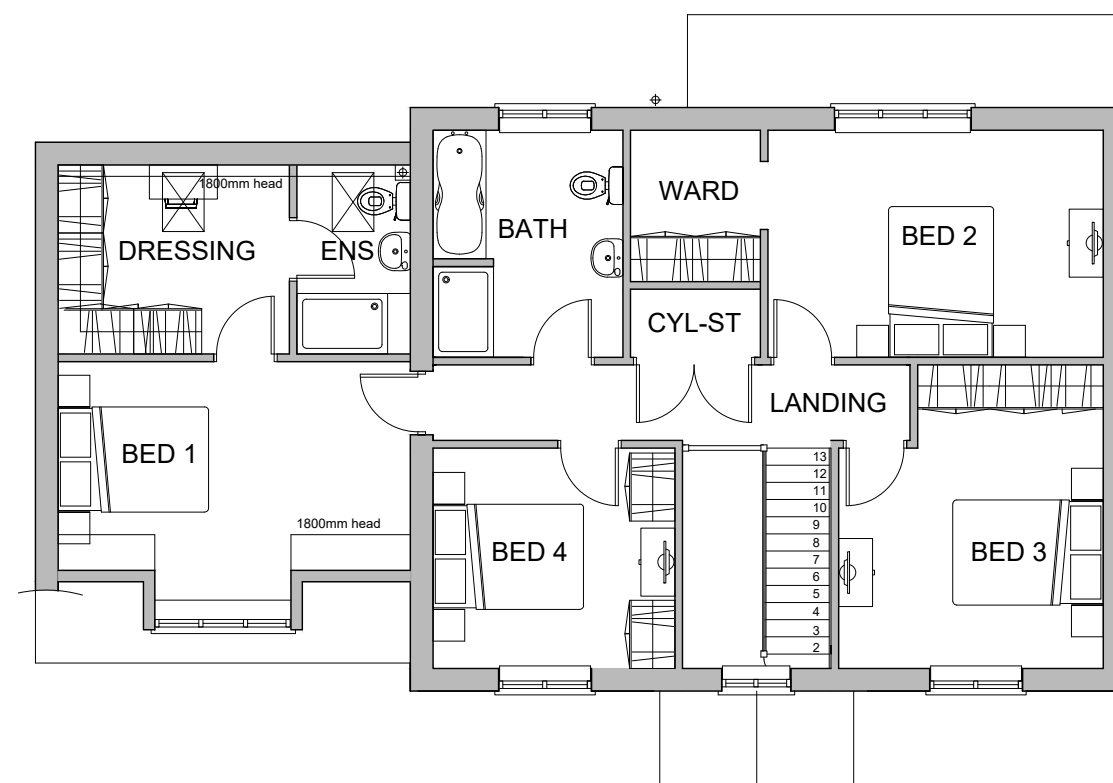
DCA David Crowder
ARCHITECTURE LTD.
 11 ASHTREE DRIVE, LITTLE NESTON, WIRRAL, CH64 9QP.
 Tel: 0151 739 0393 MOBILE 07914 398 670
 e mail: davidcrowderarchitecture@gmail.com
 www.dcarch.weebly.com

chelmere
 homes

PLOT 1,3,4,5 LAND OFF CHURCH LANE
SANDBACH, CHESHIRE
 SCALE 1:100 REV. / DRAWING No.
 DATE 06.04.18
 DRAWN DC **CSC/HTF/001**



GROUND FLOOR PLAN



FIRST FLOOR PLAN

1760 SQFT 4 BED DETACHED
1:100@A3 Jan 2022
REV -

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ARCHITECTURE LTD.
 11 ASHTREE DRIVE, LITTLE NESTON, WIRRAL, CH64 9QP.
 Tel: 0151 739 0393 MOBILE 07914 398 670
 e mail: davidcrowderarchitecture@gmail.com
 www.dccarch.weebly.com

chelmere
 homes

PLOTS 6,7,8 CHURCH LANE
 SANDBACH, CHESHIRE,
 SCALE 1:100 REV. / DRAWING No.
 DATE 04.01.22 CLS/HTZ/02
 DRAWN DC



FRONT ELEVATION

SIDE ELEVATION



REAR ELEVATION

SIDE ELEVATION

1760 SQFT 4 BED DETACHED
1:100@A3 Jan 2022
REV -

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 Tel: 0151 739 0393 MOBILE 07914 398 670
 e mail: davidcrowderarchitecture@gmail.com
 www.dcarch.weebly.com

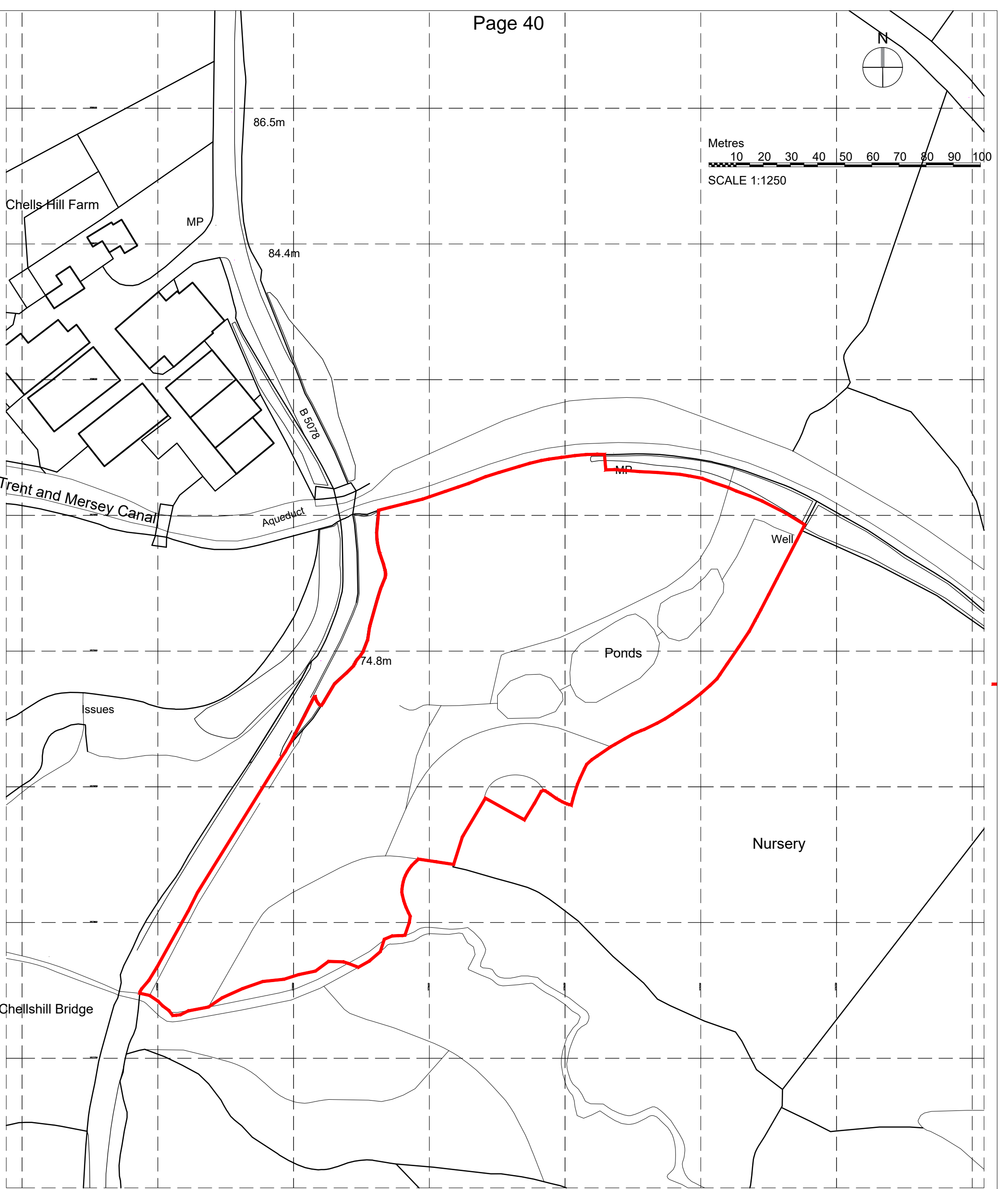
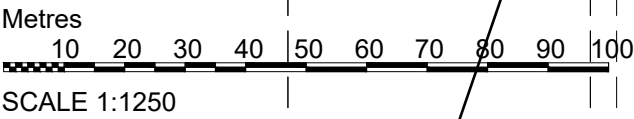
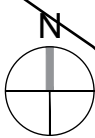
chelmere
 homes

PLOTS 6,7,8 CHURCH LANE
 SANDBACH, CHESHIRE,
 SCALE 1:100 REV. / DRAWING No.
 DATE 04.01.22 CLS/HTZ/01
 DRAWN DC

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22/3818C

Land East of, CHELLS HILL,
CHURCH LAWTON



PROJECT INFORMATION:

Proposed Moto Cross Track
at Chells Hill,
Rode Heath
Stoke-on-Trent

PROJECT REF: DRAWING TITLE:

20023 Site Location Plan

MODEL REF &
VERSION:

CLIENT:

Mr Allister Boote

CLIENT REF:

STATUS CODE:

S0

PURPOSE OF ISSUE:

Work In Progress

REFERENCING
SHEET:

A3 - portrait

SCALE @

1:1250

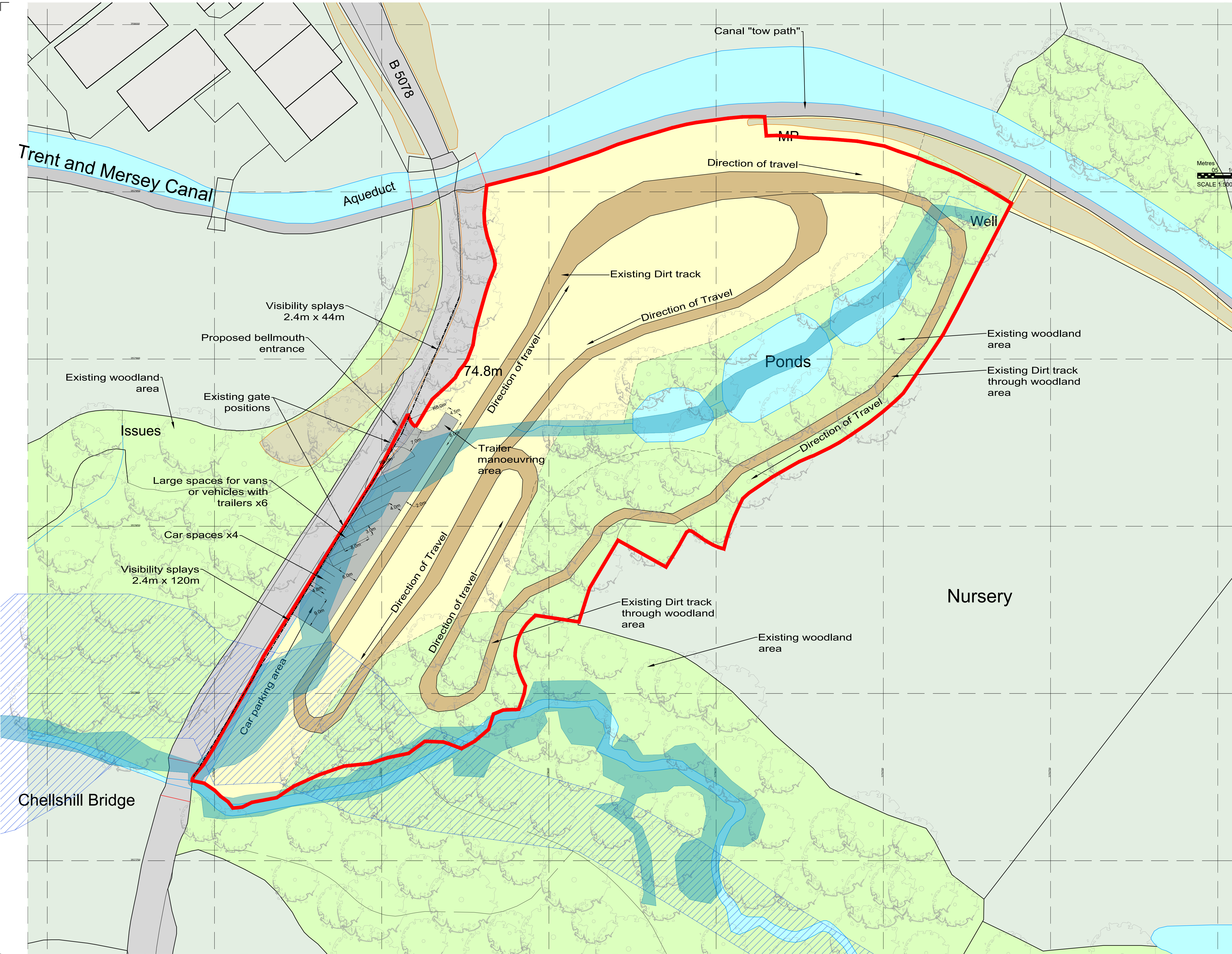
Rev.	Description	Date	By	App. By
A	Red Line adjusted	22/09/2022	RW	RW

ORIGINAL BY: Author	INITIAL ISSUE: 01/31/18	APPROVED BY: Approver
------------------------	----------------------------	--------------------------

DRAWING NUMBER:						
PROJECT ID	ORIGINATOR	ZONE	LEVEL	TYPE	ROLE	NUMBER
20023	RWD	- ZZ	- ZZ	- DR-	A	0001
PLOT DAT24/02/2020 21:11:25						LAST ISSUE DATE

R WATSON DESIGN SERVICES LTD.
CHARTERED ARCHITECTURAL TECHNOLOGIST

e: Richard@rwdsltd.com m: 07841 592534
28 Eaton Lane | Davenham | Northwich | Cheshire | CW9 8JL



Notes

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REPORT ANY DISCREPANCIES TO THE ARCHITECT OR REPRESENTATIVES THEREOF IMMEDIATELY.

ALL DIMENSIONS MUST BE CHECKED AND VARIFIED ON SITE BEFORE COMMENCING ANY WORK.

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Metres

0 5 10 15 20 25 30 35 40 50

SCALE 1:500

Key

- Stoned car parking area
- Grass / field area
- Existing Dirt Track
- Water course - Canal, river, pond
- Existing woodland area
- Site Boundary

Flood Risk

- Extent of Flooding from Surface Water
- Extent of Flooding from Rivers or the sea

D	Parking and Access amended	21/09/22	RW	RW
C	Flood Risk Added	16/11/20	RW	RW
B	Red line adjusted	06/10/20	RW	RW
A	Entrance amended to Highway Access Statement	01/10/20	RW	RW

Rev: Description Date By App. By

ORIGINAL BY:	INITIAL ISSUE:	APPROVED BY:
Author	10/07/18	Approver

PROJECT INFORMATION:

Proposed Dirt Track at Chells Hill, Rode Heath Stoke-on-Trent

PROJECT REF: 20023

MODEL REF:

CLIENT: Mr Allister Boote

CLIENT REF:

DRAWING TITLE: Proposed Site Plan

REVISION: Unissued

STATUS CODE: S0 PURPOSE OF ISSUE: Work In Progress

REFERENCING SHEET: A1 SCALE @ 1:500

R WATSON DESIGN SERVICES LTD.
CHARTERED ARCHITECTURAL TECHNOLOGIST

e: Richard@rwdsltd.com m: 07841 592534
28 Eaton Lane | Davenham | Northwich | Cheshire | CW9 8LL

DRAWING NUMBER:	PROJECT ID:	ORIGINATOR:	ZONE:	LEVEL:	TYPE:	ROLE:	NUMBER:	REV:
20023-RWD	- ZZ	- ZZ	- DR	- A	- 0010			D
PLANT DATE:	LAST ISSUE DATE							

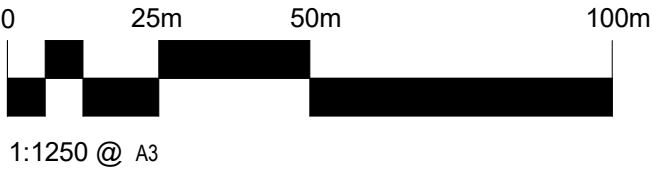
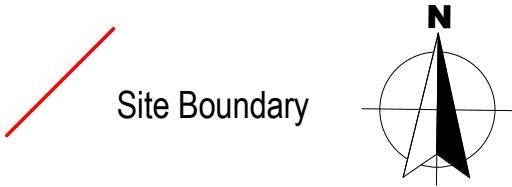
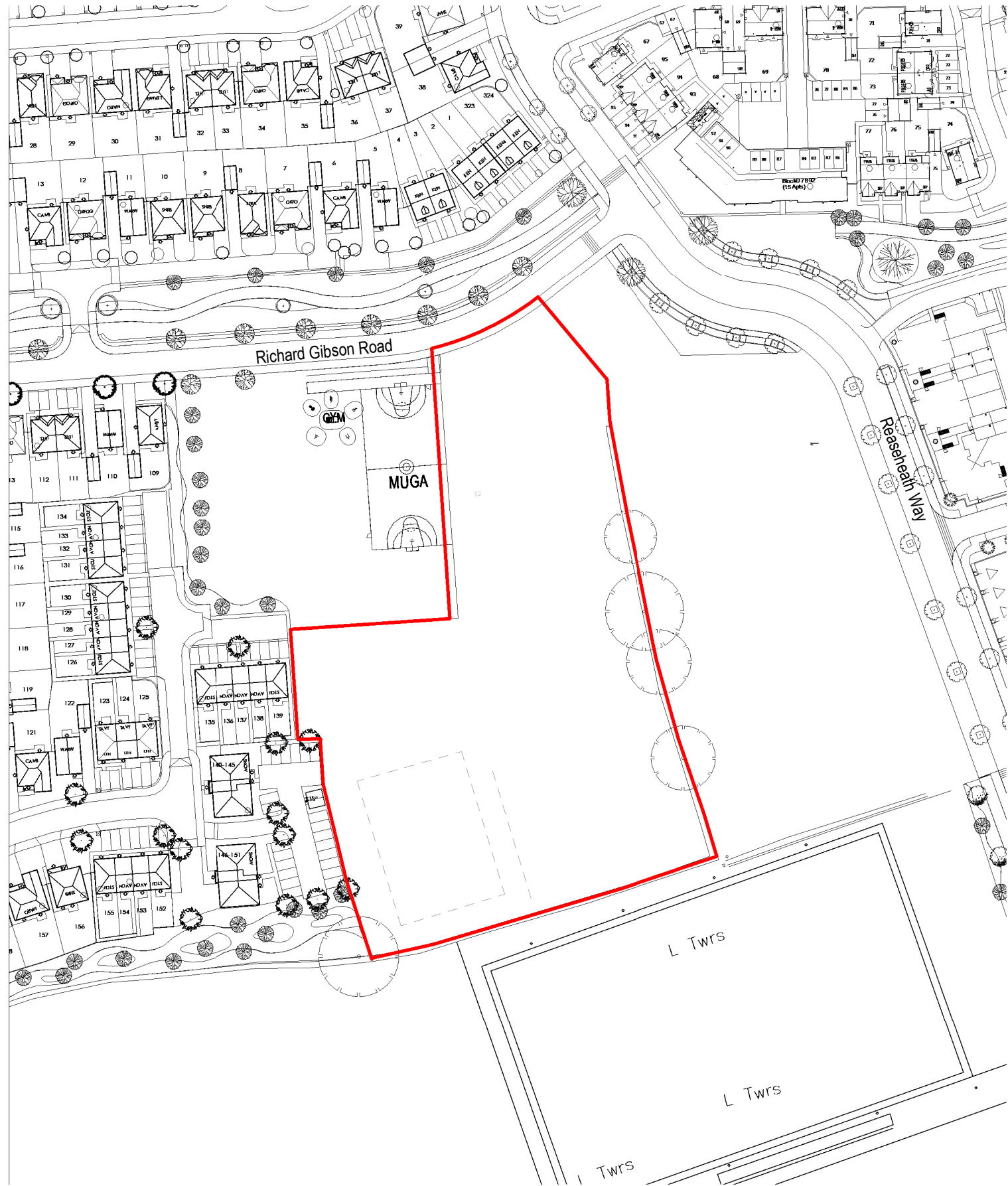
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23/0376N

Vacant Land at,

RICHARD GIBSON ROAD,

HENHULL



Location Plan.

1 : 1250 @ A3

T4	Boundary Substation Removed	20.06.23	SD	PEH
T3	Boundary Substation	15.06.23	SD	PEH
T2	Boundary	04.04.23	SD	PEH
T1	Updated boundary	14.02.23	SD	PEH
Planning				
Revision	Description	Date	Drawn	Checked

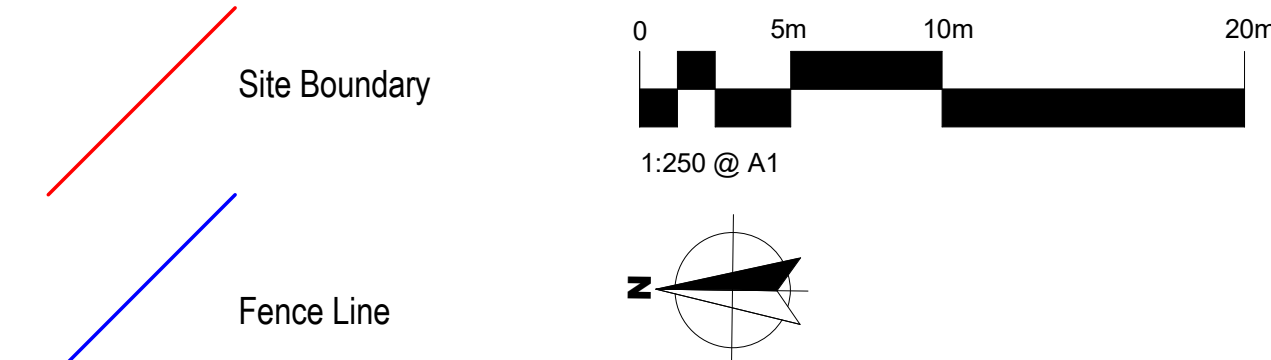
Halliday Meecham Architects Limited
111 Piccadilly Manchester M1 2HY
+44 (0)161 661 5566
4 Devonshire Street London W1W 5DT
+44 (0)203 440 5175
hma@hallidaymeecham.com
www.hallidaymeecham.com



Client:	Cheshire East Council					
Project:	Kingsley Field Primary School					
Phase/Location:	Nantwich					
Drawing:	Location Plan					
Scale @ A3	Date:	Drawn:	Checked:	Job No.	Drawing No.	
1:1250	03/10/22	SD	PEH	5487	00001	
Drawing Ref.	5487-HMA-CE-00-DR-A-00001					Revision T4



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- Site Boundary
- Fence Line
- Grass
- Meadow grass
- Hedging / Shrubs
- Tarmac Pedestrian
- Tarmac Permeable
- Tarmac Car Park
- School

GF - GIFA: 1355m2

External space allocation

Soft Outdoor: Required 4200 m2 Proposed 3563m2

Hard Outdoor : Required 715 m2 Proposed 858m2

Soft informal/Social: Required 1020m2 Proposed 1186m2

Hard informal/Social: Required 410m2 Proposed 1043m2

Habitat: Required 105m2 Proposed 177m2

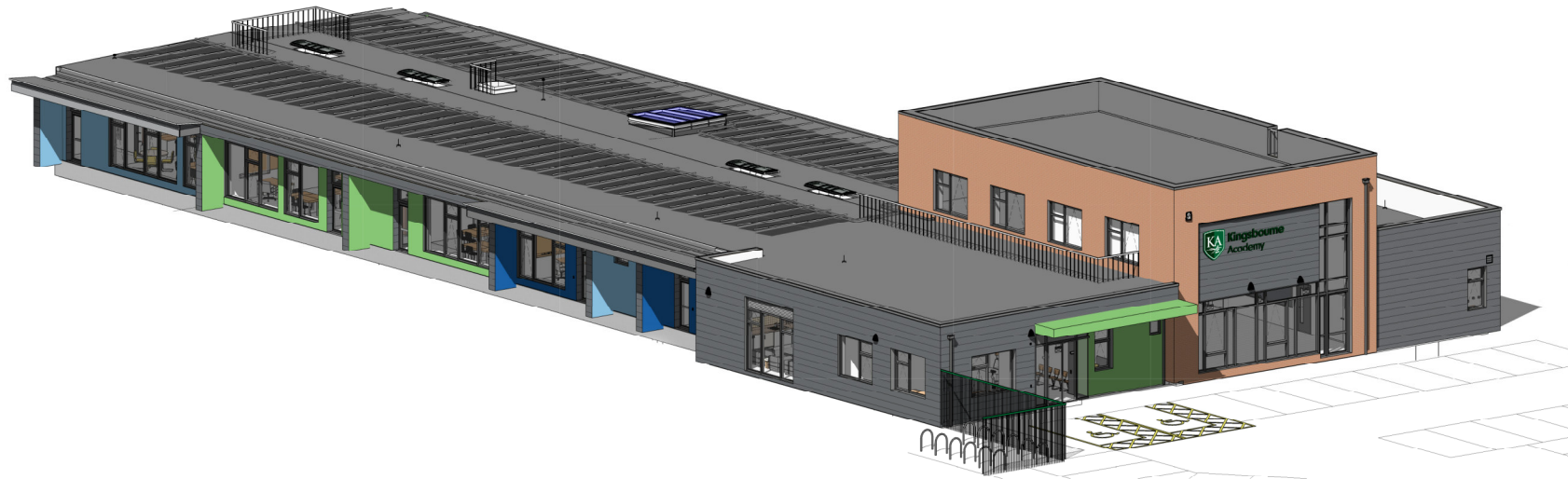
T6	Substation Red Line Altered	20.06.23	JP	PEH
T5	Kerb radii, substations added	15.06.23	SD	PEH
T4	Updated Bikes	07.06.23	SD	PEH
T3	Updated landscape	04.04.23	SD	PEH
T2	Signage labels added	17.03.23	SD	PEH
T1	To match landscape plan, Red line updated	13.02.23	SD	PEH
TENDER				
Revision	Description	Date	Drawn	Checked

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Client:	Cheshire East Council					
Project:	Kingsley Field Primary School					
Phase/ Location:	Nantwich					
Drawing:	Proposed Block Plan					
Scale @ A1	Scale @ A3	Date:	Drawn:	Checked:	Job No.	Drawing No.
1:250		03/10/22	SD	PEH	5487	CE-00201
Drawing Ref.						Revision
5487-HMA-CE-00-DR-A-00201						T6

1 Proposed Block Plan
1 : 250 @ A1



B	Updated Front Entrance	19.06.23	JP	PEH
A	For Planning	20.01.23	SD	PEH
Planning				
Revision	Description	Date	Drawn	Checked

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Client:	Cheshire East Council						
Project:	Kingsley Field Primary School						
Phase/Location:	Nantwich						
Drawing:	3D Visual						
Scale @ A1	Scale @ A3	Date:	Drawn:	Checked:	Job No:	Drawing No:	Revision:
		07/08/22	SD	PEH	5487	CE-00023	B
Drawing Ref:	5487-HMA-CE-ZZ-DR-A-00023						



West Elevation

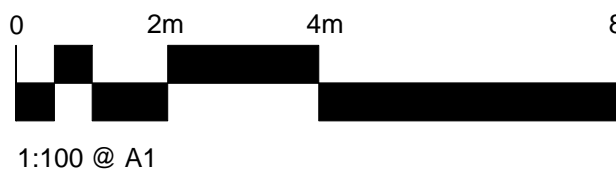
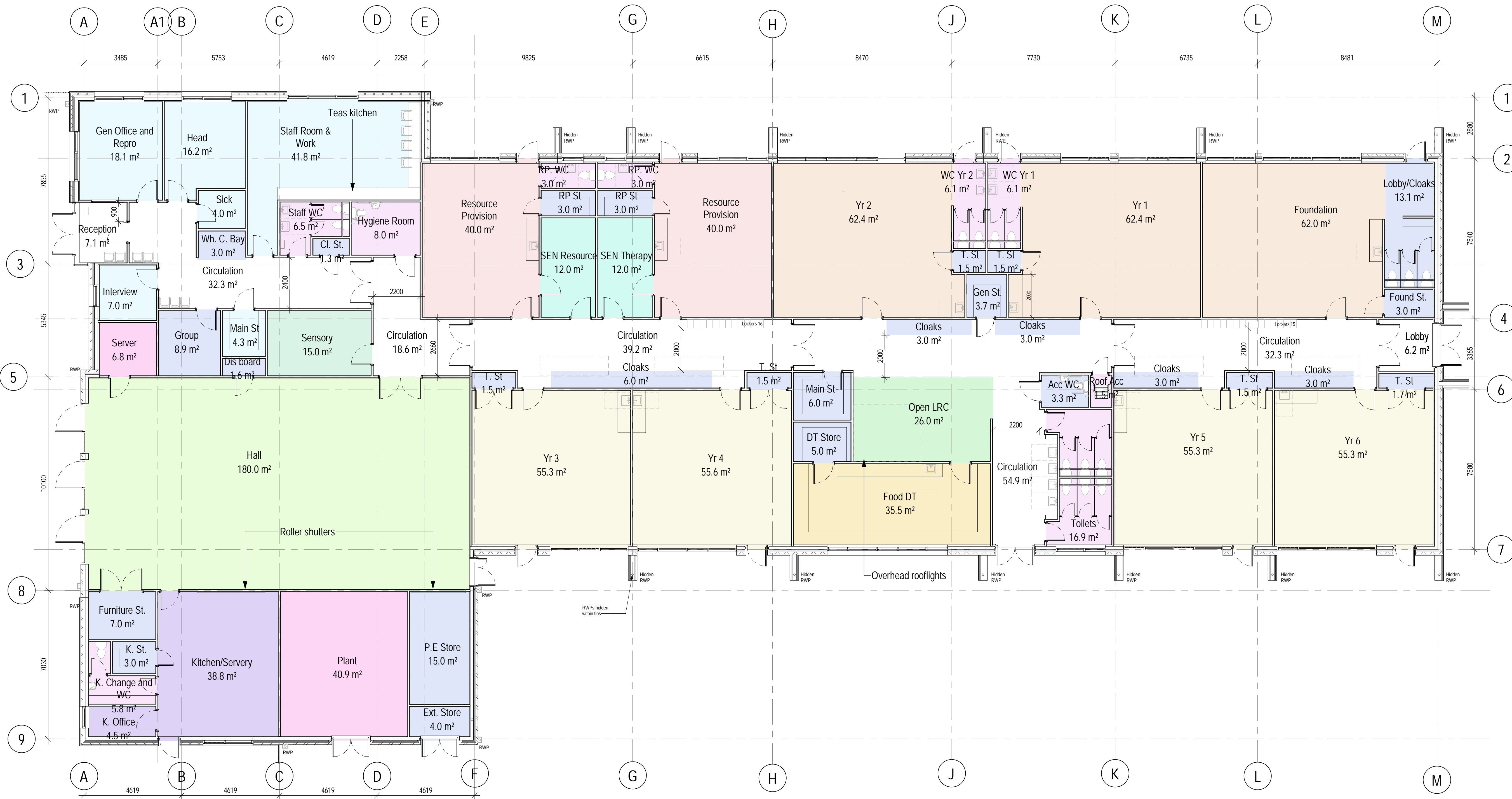


East Elevation



Entrance

B	Updated Front Elevation	21.06.23	JP	PEH
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Planning				
Revision	Description	Date	Drawn	Checked
Halliday Meecham Architects Limited				
111 Piccadilly Manchester M1 2HY				
+44 (0)161 661 6666				
4 Devonshire Street London W1W 5DT				
+44 (0)203 440 5175				
hma@hallidaymeecham.com				
www.hallidaymeecham.com				
Client:	Cheshire East Council			
Project:	Kingsley Field Primary School			
Phase:	Nantwich			
Location:	Perspective Views Option			
Drawing:				
Scale: @ A3	Date:	Drawn:	Checked:	Job No:
	01/10/23	SD	PEH	5487
Drawing Ref:	5487-HMA-CE-ZZ-DR-A-00022			Revision
				B



Departments

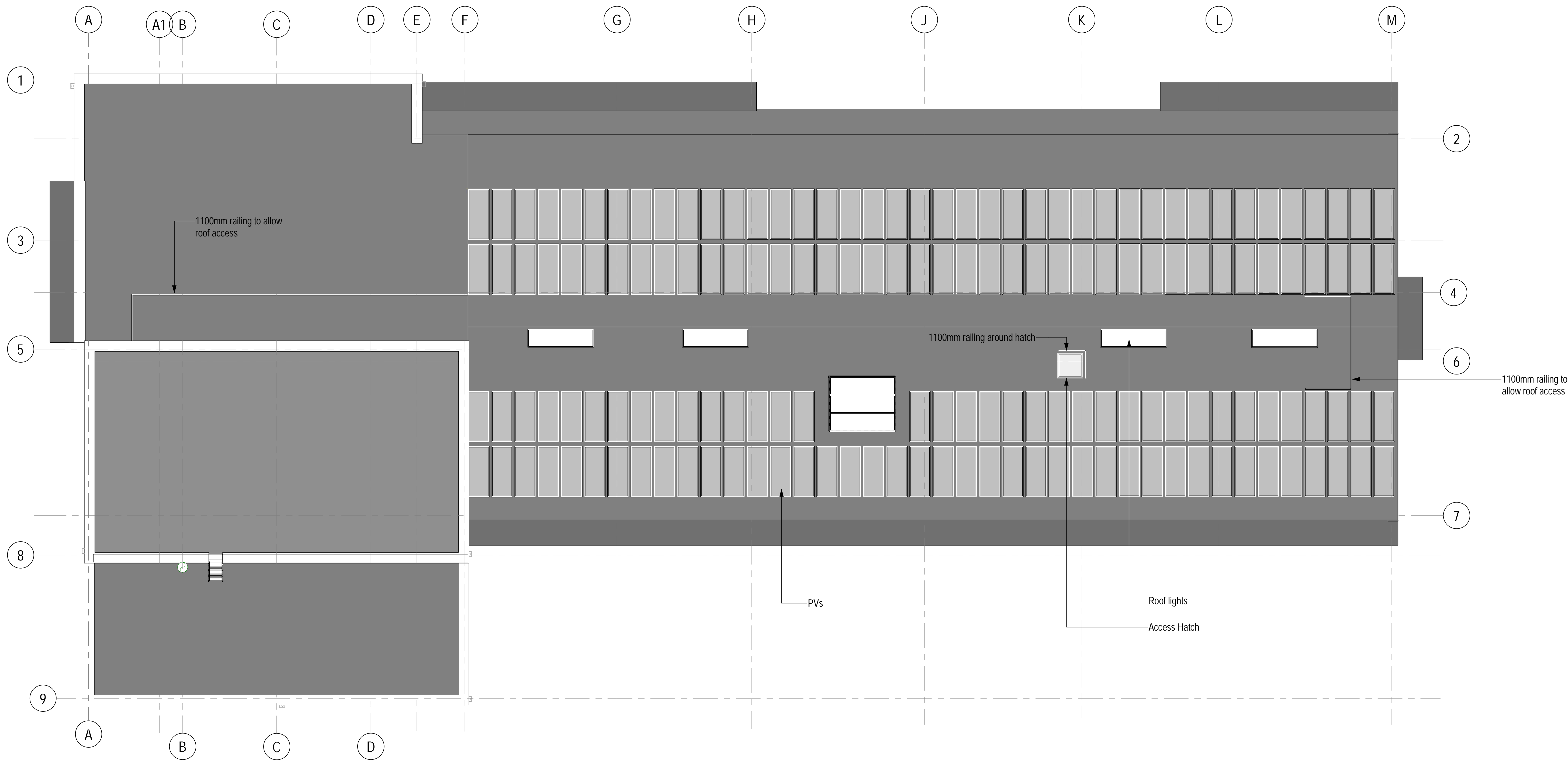
- Food/Science/DT
- Group
- Hall
- Infant
- Junior
- Kitchen
- LRC
- Plant
- Resource Provision
- SEN areas
- Staff and Admin areas
- Storage
- Toilets

GF GIFA - 1355 m2

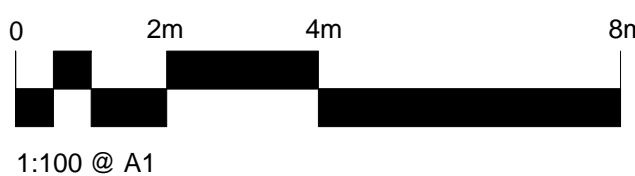
1 Proposed Ground Floor Plan
1 : 100 @ A1

A	For Planning	20.01.23	SD	PEH
Planning				
Revision	Description	Date	Drawn	Checked
Halliday Meecham Architects Limited				
111 Piccadilly Manchester M1 2HY +44 (0)161 661 5566				
4 Devonshire Street London W1W 5DT +44 (0)203 440 5175				
hma@hallidaymeecham.com www.hallidaymeecham.com				
Client: Cheshire East Council				
Project: Kingsley Field Primary School				
Phase/Location: Nantwich				
Drawing: Proposed Ground Floor Plan				
Scale @ A1 1:100	Scale @ A3 1:100	Date 03/24/22	Drawn SD	Checked PEH
Job No. 5487				Drawing No. CE-00203
Drawing Ref. 5487-HMA-CE-00-DR-A-00203				Revision A





1 Proposed Roof Plan
1 : 100 @ A1



A	For Planning	20.01.23	SD	PEH
Planning				
Revision	Description	Date	Drawn	Checked

Halliday Meecham Architects Limited

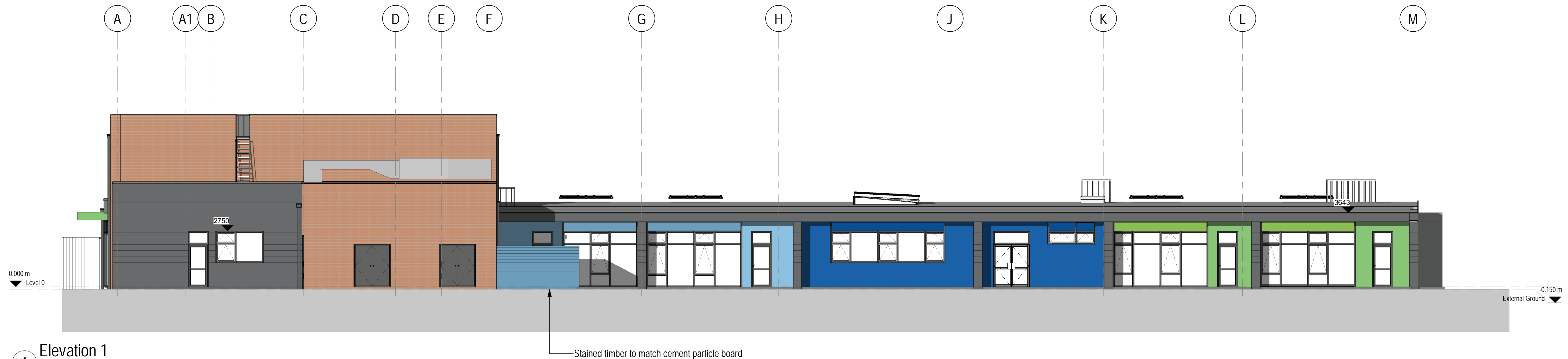
111 Piccadilly Manchester M1 2HY
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4 Devonshire Street London W1W 5DT
+44 (0)203 440 5175

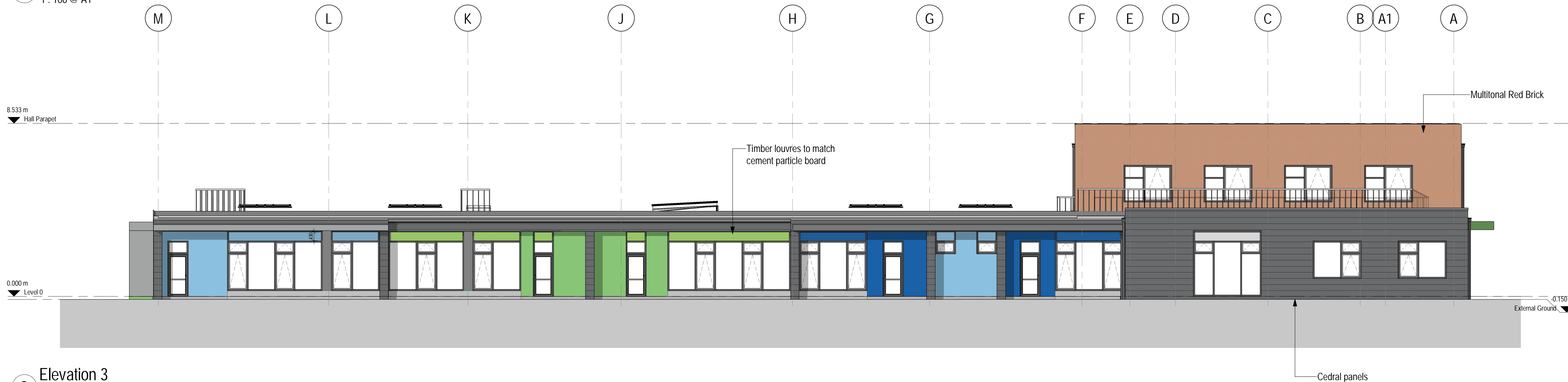
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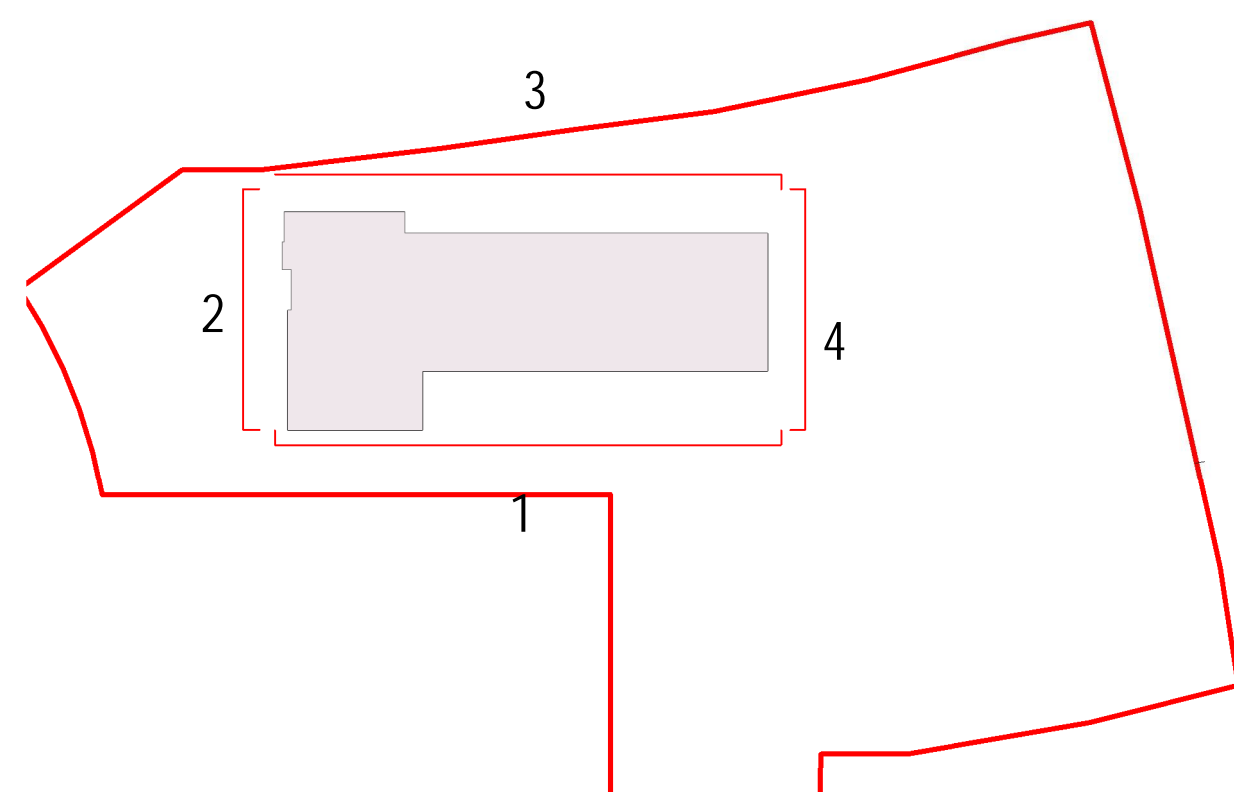
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Project:	Kingsley Field Primary School					
Phase/ Location:	Nantwich					
Drawing:	Proposed Roof Plan					
Scale @ A1	Scale @ A3	Date:	Drawn:	Checked:	Job No.	Drawing No.
1:100		07/04/22	SD	PEH	5487	CE-00204
Drawing Ref.						Revision
5487-HMA-CE-01-DR-A-00204						A



1 Elevation 1
1: 100 @ A1



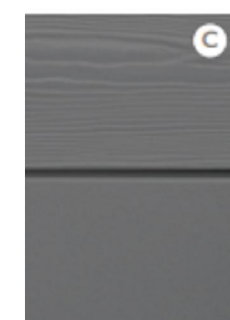
3 Elevation 3
1: 100 @ A1



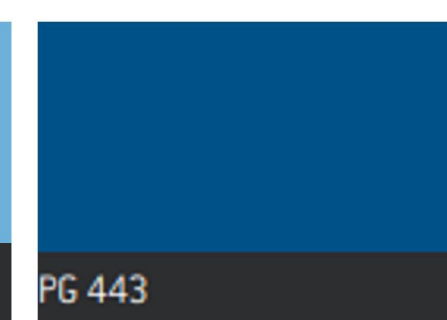
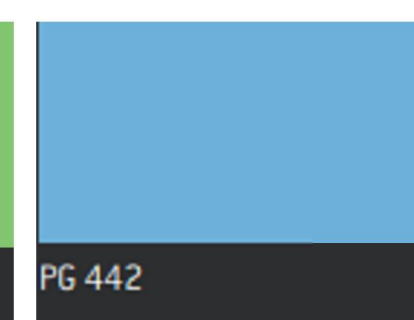
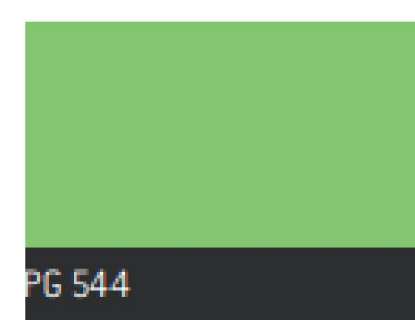
Multi tonal - Telford Berkshire



Cedral Grey - C54 Pewter

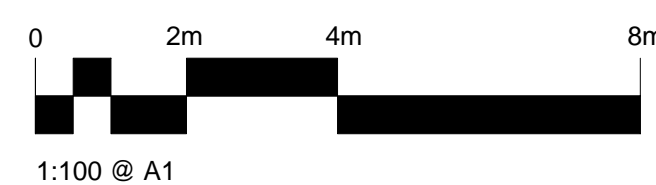


Equitone colour palette - PG 544, PG 442, PG 443



Louvre Colours:

Green: RAL6018
Light Blue: RAL: 5024
Blue: RAL: 5002



1:100 @ A1

B	Updates	04.04.23	SD	PEH
A	For planning	20.01.23	SD	PEH
Planning		Date	Drawn	Checked

Halliday Meecham Architects Limited

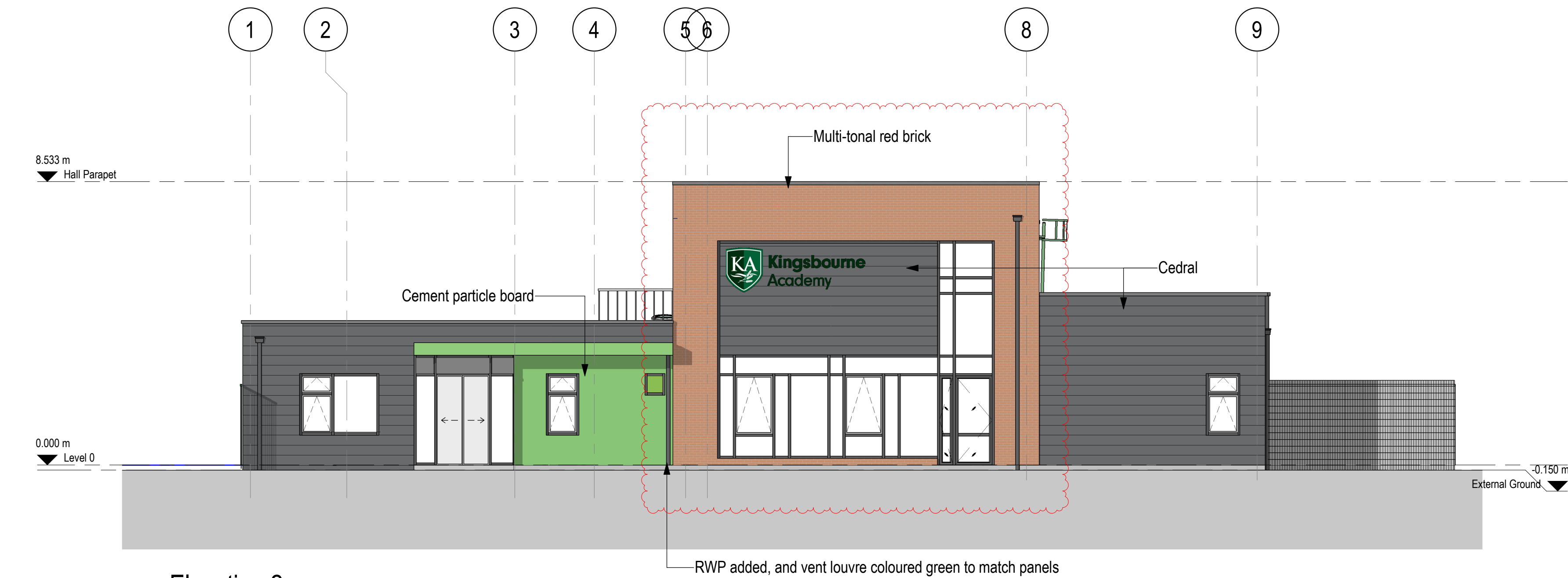
111 Piccadilly Manchester M1 2HY
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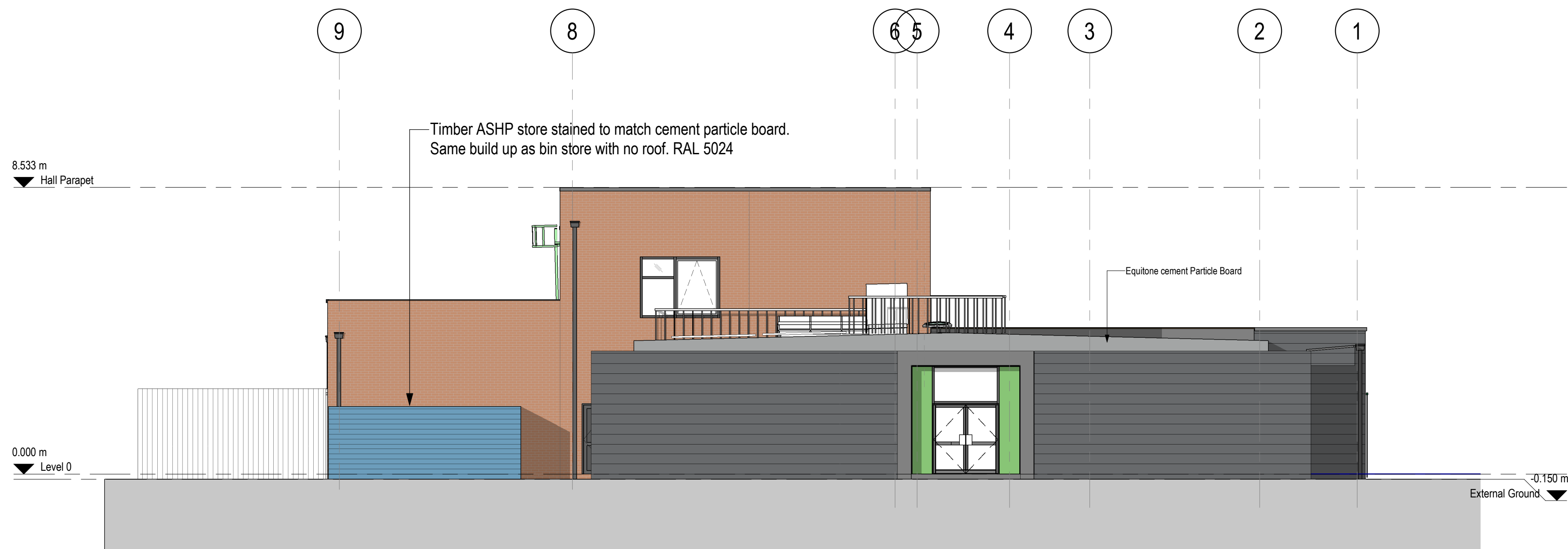
hma@hallidaymeecham.com
www.hallidaymeecham.com



Client:	Cheshire East Council			
Project:	Kingsley Field Primary School			
Phase/ Location:	Nantwich			
Drawing:	Proposed Elevations 1 of 2			
Scale @ A1	Scale @ A3	Date:	Drawn:	Checked:
1:100		07/04/22	SD	PEH
Drawing Ref.	5487-HMA-CE-ZZ-DR-A-00205			Revision
				B

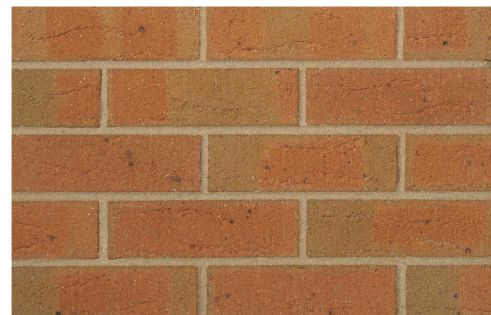


1 Elevation 2
1 : 100 @ A1



2 Elevation 4
1 : 100 @ A1

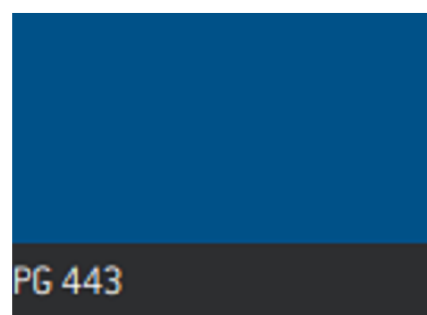
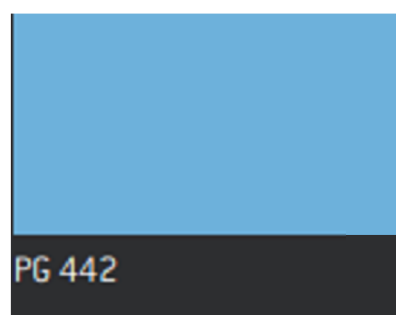
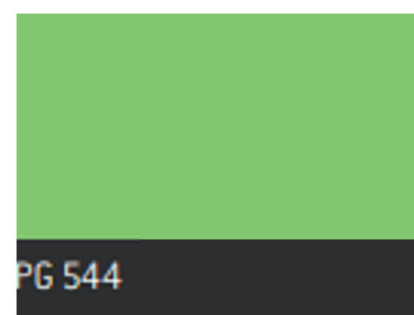
Multi tonal - Telford Berkshire



Cedral Grey -
C54 Pewter

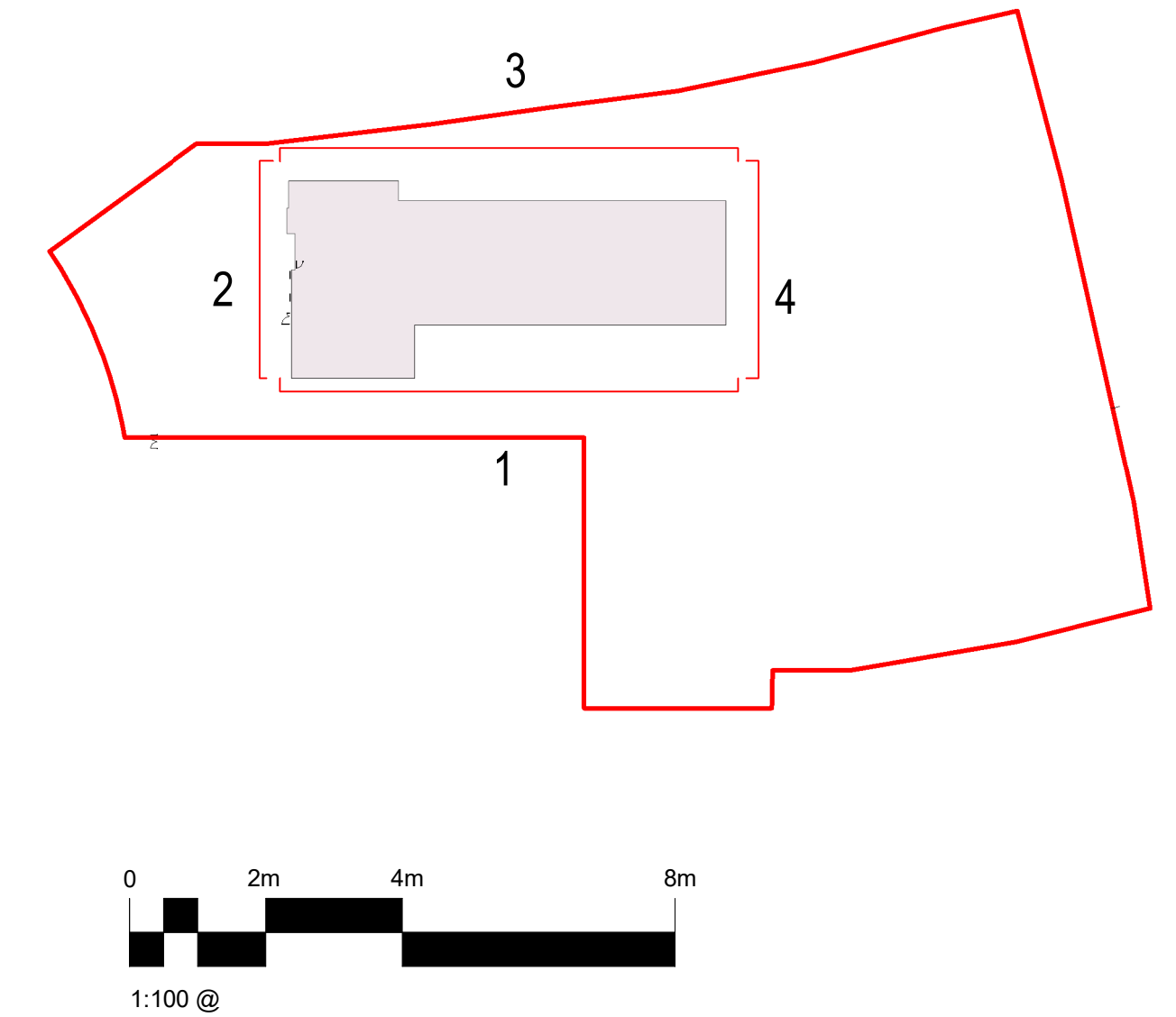


Equitone colour palette - PG 544, PG 442, PG 443



Louvre Colours:

Green: RAL6018
Light Blue: RAL: 5024
Blue: RAL: 5002



T6	Curtain walling layout updated	20.06.23	JP	PEH
T5	MJ added	31.05.23	SD	PEH
T4	Sliding door added	04.05.23	SD	PEH
T3	Updated colours and louvre	03.04.23	SD	PEH
T2	Updated signage	17.03.23	SD	PEH
T1	Updated	23.02.23	SD	PEH
TENDER				
Revision	Description	Date	Drawn	Checked

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+44 (0)161 661 5566

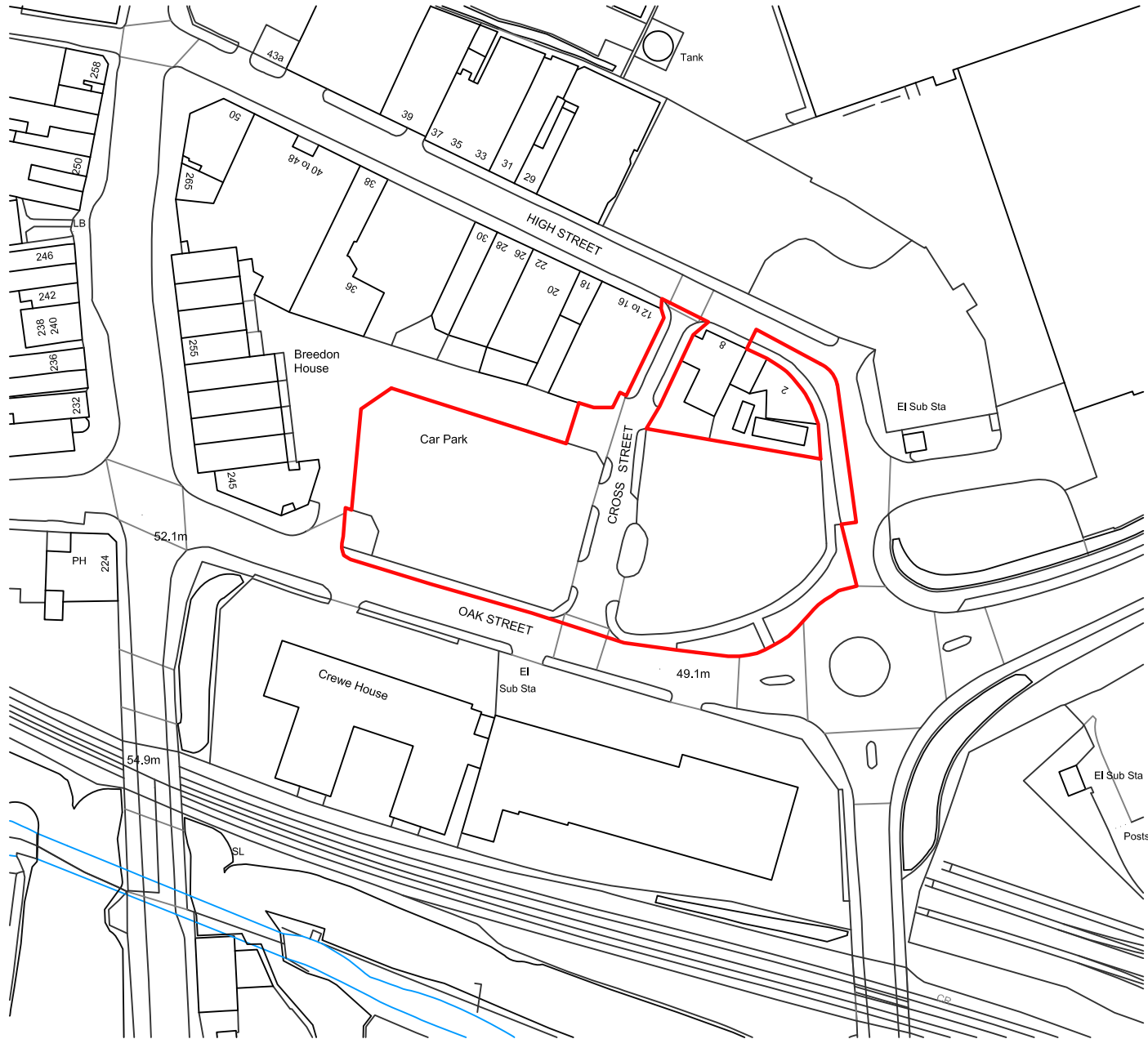
4 Devonshire Street London W1W 5DT
+44 (0)203 440 5175

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Client:	Cheshire East Council				
Project:	Kingsley Field Primary School				
Phase/ Location:	Nantwich				
Drawing:	Proposed Elevations 2 of 2				
Scale @ A1	Scale @ A3	Date:	Drawn:	Checked:	Job No.
1:100		07/04/22	SD	PEH	5487
Drawing Ref.	5487-HMA-CE-ZZ-DR-A-00206				Revision
					T6

22/4964
Car Park,
OAK STREET,
CREWE



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- All dimensions to be checked on site.
- All architectural drawings are to be read in conjunction with the relevant architectural specifications and technical reference sheets (T-Sheets).
- All the details and setting-out drawings to be read in conjunction with the relevant consultants and subcontractor drawings.

REV.	DESCRIPTION:	DATE:	DRAWN:	CHECK:
P01	Issued for planning	08/12/22	TB	SG
T01	Issued for tender	20/03/23	TB	SG
T02	Red line amended	02/06/23	TB	SG

DRAWING SCALE:

1:1250 A3

010m20m

1:1250

Page 54

KEY PLAN (NTS):

N

CLIENT:

OnSide

PROJECT TITLE:	PROJECT NO:
Crewe Youth Zone	20618

DRAWING TITLE:

Location Plan

DRAWING NO:							
PROJECT	ORIGIN	ZONE	LEVEL	TYPE	ROLE	NO.#	REVISION
CYZ	SEV	ZZ	ZZ	DR	A	01000	T02

SUITABILITY DESCRIPTION	(S3) Suitable for Comment
REVISION DESCRIPTION	TENDER

seven.

SEVENARCHITECTURE.CO.UK

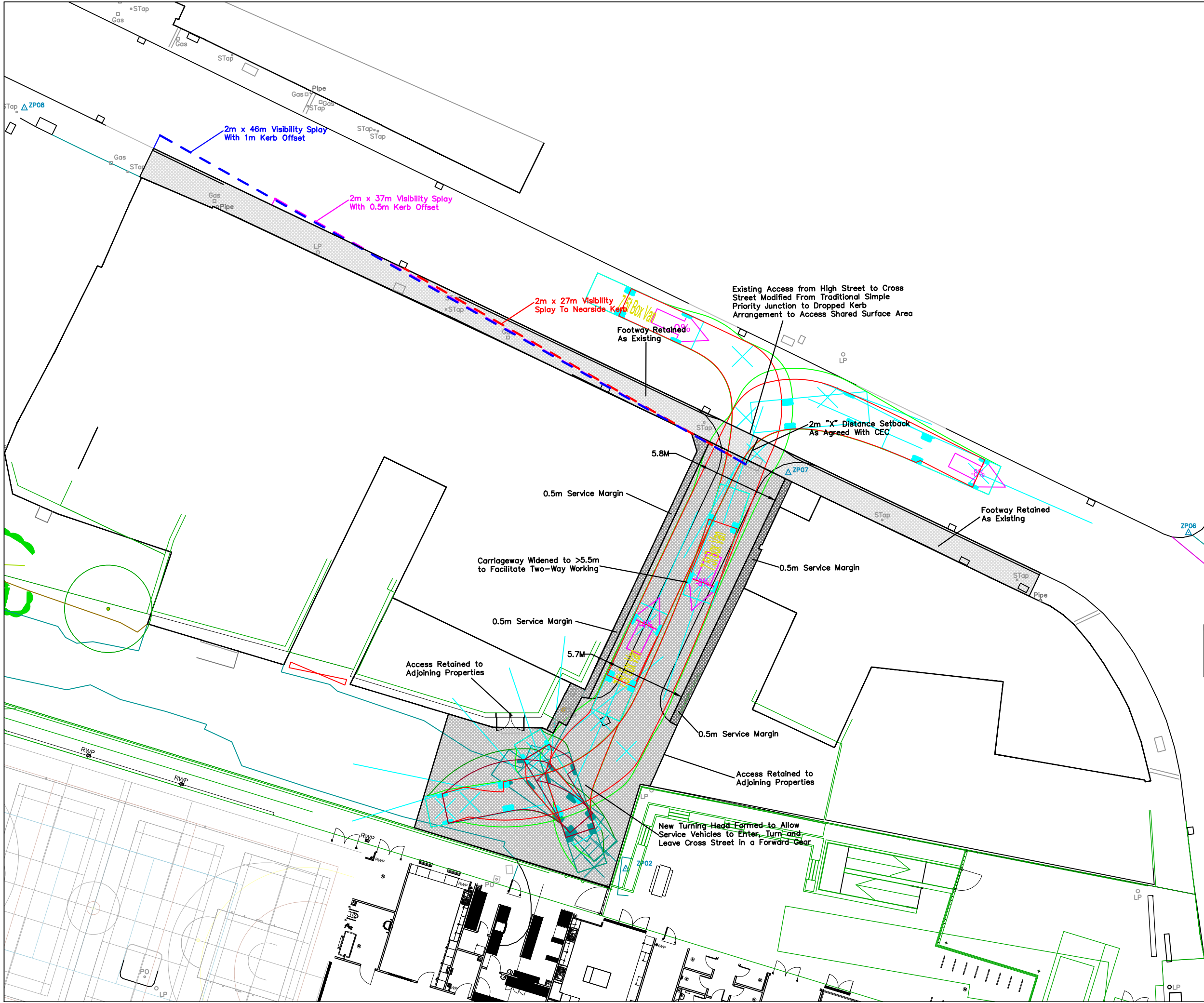
Studios at:

Unit 1.3 Waulk Mill
51 Bengal St
MANCHESTER
M4 6LN
t: 0161 236 5655

Clarendon House
Victoria Avenue
HARROGATE
HG1 1JD
t: 01423 709 807

Y Neuadd Lwyd
Dolwyddelan
CONWY
LL25 0SJ
t: 07772819425

24 Greville Street
Clerkenwell
LONDON
EC1N 8SS
t: 0203 036 0691

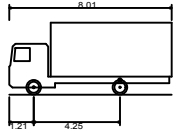


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NOTES

0.5m Asphalt Service Margin Either Side Of Existing Building Elevations

Shared Surface Areas (Asphalt Surface)



7.5t Box Van
Overall Length 8.01m
Overall Width 2.10m
Overall Body Height 3.556m
Min Body Ground Clearance 0.351m
Track Width 2.064m
Lock to Lock Time 4.00 sec
Kerb to Kerb Turning Radius 7.400m

Revision Details	By	Date	Suffix
	Check		

Drawing Number

SK22222-107

Drawing Title

Crewe Youth Zone

GA Showing Proposed Cross Street Improvements SPA – 7.5t Box Van

Scale at A3

1: 250

Drawn

KAT

Approved

MAK


Check

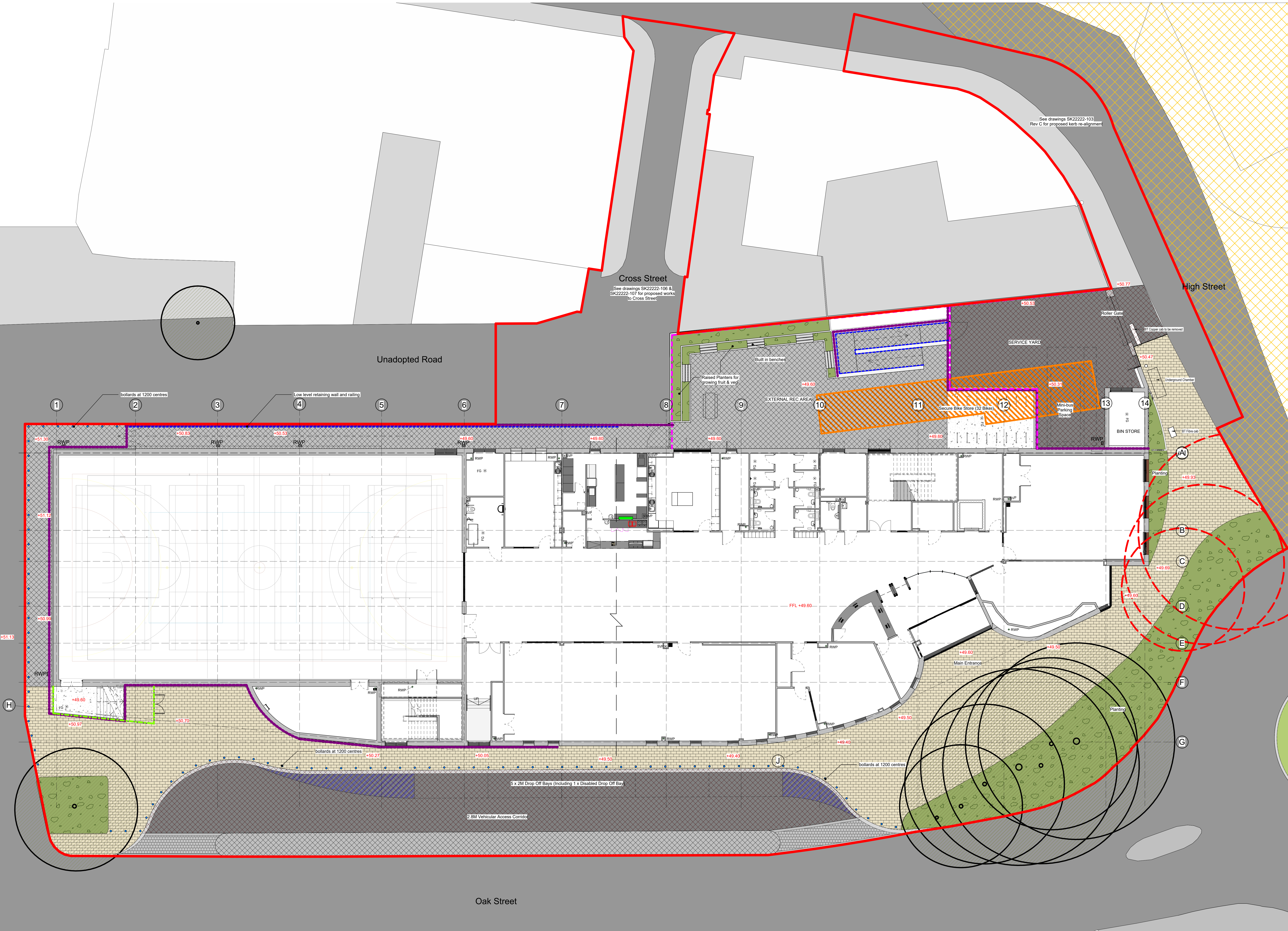
KAT

Date

01/06/23

SK Transport Planning Ltd
Albion Wharf, 19 Albion Street
Manchester M1 5LN
Telephone (0161) 234 6509
Fax (0161) 236 7959





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- All architectural drawings are to be read in conjunction with the relevant architectural specifications and technical reference sheets (T-Sheets).
- All the details and settings and drawings to be read in conjunction with the relevant consultants and subcontractor drawings.

REV	DESCRIPTION	DATE	DRAWN	CHECK
T01	Issued for Tender	2003/23	TB	SG
T02	Updated to coordinate with Kitchen Designs	23/03/23	TB	SG
T03	Updated Planning Drawing	17/05/23	TB	SG
T04	Real line amended	02/06/23	TB	SG
T05	Fence added to Sports Hall fire escape	06/06/23	TB	SG

Materials Key

- 1. Tarmac, black, to Engineers highways specification.
- 2. Tarmac, black, to Engineers footpath specification.
- 3. High quality concrete paving
- 5. New low-level planting
- 6. Existing Trees
- 10. Attenuation Tank or Soakaway to suit ground conditions.
- 11. Trees Removed.
- 12. Concrete
- 13. Conservation curb and sett paving

Boundaries

- Full Planning boundary
- 3m High Secure line of fence
- 1.1m High Railing
- 2m High Mobile Green Screen Fencing

Retaining Walls

- Retaining wall

Other Development Scheme

- Cheshire East Council Southern Gateway Landscape Scheme

DRAWING SCALE:
1:100 @ A0

KEY PLAN (NTS):

North arrow pointing up.

Key plan showing the site location relative to the surrounding area, with labels A, B, C, D, E, F, G, H, J.

CLIENT:
OnSide

PROJECT TITLE:
Crewe Youth Zone

PROJECT NO:
20618

DRAWING TITLE:
Proposed External Works Plan

DRAWING NO:

PROJECT	ORIGIN	ZONE	LEVEL	TYPE	ROLE	NO. #	REVISION
CYZ	SEV	ZZ	00	DR	A	01021	T05

STABILITY DESCRIPTION:
TENDER

seven.

SEVENARCHITECTURE.CO.UK

Unit 1.3 Vicarage Mill
100-102
MANCHESTER
M14 6JN
E: 0161 236 5555

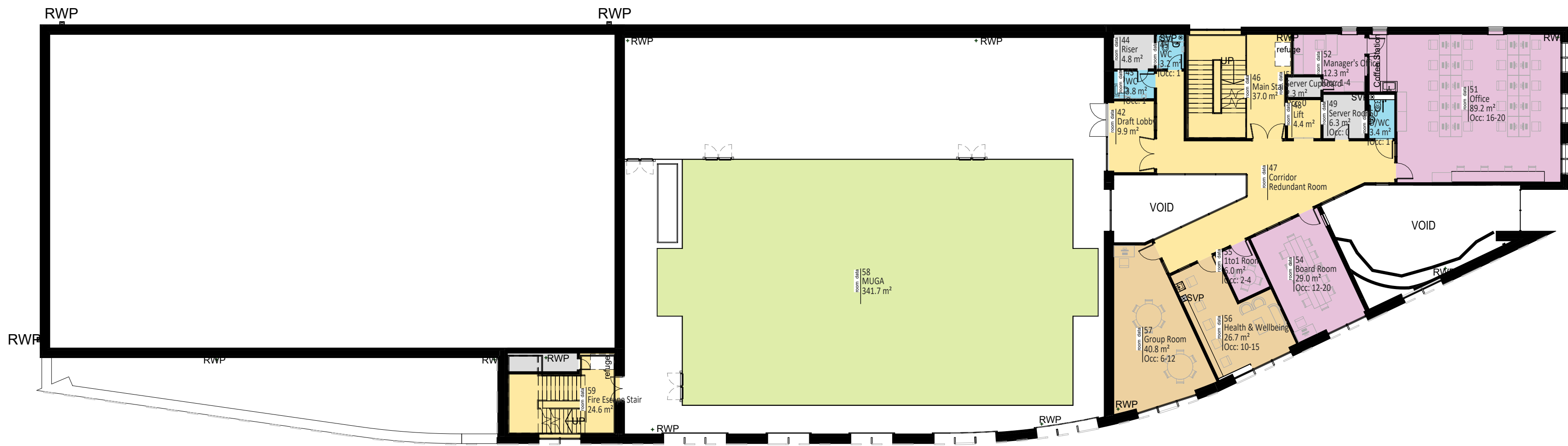
Clarendon House
Clarendon Avenue
HARRINGTON
H1 1JH
E: 01423 709 807

Y Newbold Lodge
Clarendon Avenue
CONWAY
LL58 1BS
E: 077728 19425

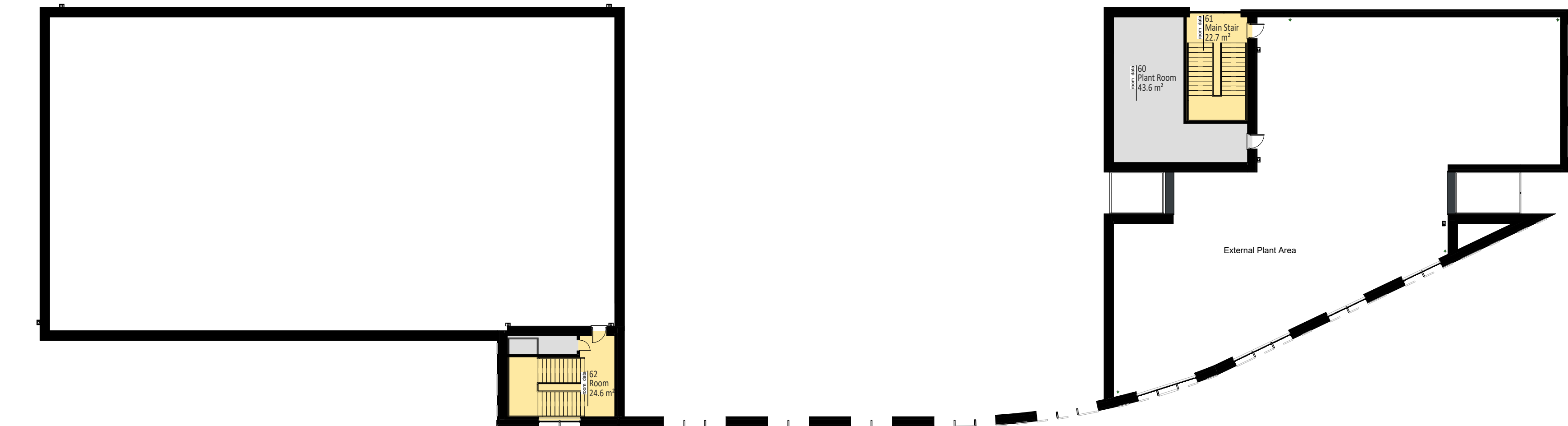
24 Grosvenor Street
LONDON
E: 0203 036 0691



Level 00 - Proposed Area Plan



Level 01 - Proposed Area Plan



Level 02 - Proposed Area Plan

Room Schedule			
Number	Level	Name	Area
1	Level 00 - Ground Floor	Workshop	10.14 m²
2	Level 00 - Ground Floor	Hygiene Suite	12.00 m²
3	Level 00 - Ground Floor	Arts & Crafts	34.36 m²
4	Level 00 - Ground Floor	1to1 Room	5.05 m²
5	Level 00 - Ground Floor	Kitchen	31.62 m²
6	Level 00 - Ground Floor	Dry Store	2.43 m²
7	Level 00 - Ground Floor	Servery	12.11 m²
8	Level 00 - Ground Floor	Mentoring Kitchen	34.95 m²
9	Level 00 - Ground Floor	External Rec Store	4.75 m²
10	Level 00 - Ground Floor	Rec Store	9.05 m²
11	Level 00 - Ground Floor	Shower 1	2.36 m²
12	Level 00 - Ground Floor	Shower 2	2.36 m²
13	Level 00 - Ground Floor	Shower 3	2.36 m²
14	Not Placed	Lift	Not Placed
14	Level 00 - Ground Floor	Shower 4	2.36 m²
15	Not Placed	Main Stair	Not Placed
15	Level 00 - Ground Floor	WC	3.04 m²
16	Level 00 - Ground Floor	WC	3.04 m²
16	Level 00 - Ground Floor	Cleaners Store	Not Enclosed
17	Not Placed	Inclusion Room	Not Placed
17	Level 00 - Ground Floor	WC	3.03 m²
18	Level 00 - Ground Floor	WC	3.04 m²
19	Level 00 - Ground Floor	Cleaner's Store	6.60 m²
20	Not Placed	Room	Not Placed
20	Level 00 - Ground Floor	D/WC	3.38 m²
21	Level 00 - Ground Floor	Services	14.24 m²
22	Level 00 - Ground Floor	Main Stair	35.50 m²
23	Level 00 - Ground Floor	Lift	4.55 m²
24	Level 00 - Ground Floor	Inclusion Room	22.51 m²
25	Level 00 - Ground Floor	Performing Arts	98.27 m²
26	Level 00 - Ground Floor	Climbing Wall	51.85 m²
27	Level 00 - Ground Floor	Lobby	15.75 m²
28	Level 00 - Ground Floor	Foyer	19.66 m²
29	Not Placed	Shower 1	Not Placed
29	Level 00 - Ground Floor	Reception	19.08 m²
30	Not Placed	Lift	Not Placed
30	Level 00 - Ground Floor	Recreation Area	312.13 m²
31	Not Placed	Main Stair	Not Placed
31	Level 00 - Ground Floor	1to1 Room	9.44 m²
32	Not Placed	Shower	Not Placed
32	Level 00 - Ground Floor	Music Room	52.29 m²
33	Not Placed	Shower	Not Placed
33	Level 00 - Ground Floor	Store	1.80 m²
34	Not Placed	Shower	Not Placed
34	Level 00 - Ground Floor	Sound Room	6.63 m²
35	Not Placed	Shower	Not Placed
35	Level 00 - Ground Floor	Super Fitness	176.49 m²
36	Not Placed	WC	Not Placed
36	Level 00 - Ground Floor	Fire Escape	18.70 m²
37	Not Placed	Room	Not Placed
37	Level 00 - Ground Floor	Fire Escape Stair	22.05 m²
38	Not Placed	D/WC	Not Placed
38	Level 00 - Ground Floor	Sports Hall	609.81 m²
39	Level 00 - Ground Floor	Store Room	5.98 m²
40	Not Placed	Foyer	Not Placed
40	Level 00 - Ground Floor	Sports Hall Store	37.36 m²
41	Level 00 - Ground Floor	Bin Store	11.04 m²
42	First Floor Raised Slab	Draft Lobby	9.91 m²
43	Not Placed	Server Room	Not Placed
43	First Floor Raised Slab	WC	3.78 m²
44	Not Placed	Managers Office	Not Placed
44	First Floor Raised Slab	Riser	4.75 m²
45	Not Placed	Office	Not Placed
45	First Floor Raised Slab	WC	3.21 m²
46	Not Placed	Store	Not Placed
46	First Floor Raised Slab	Main Stair	36.96 m²
47	First Floor Raised Slab	Corridor	Redundant Room
48	First Floor Raised Slab	Lift	4.38 m²
49	First Floor Raised Slab	Server Room	6.28 m²
50	First Floor Raised Slab	D/WC	3.41 m²
51	Not Placed	Board Room	Not Placed
51	First Floor Raised Slab	Office	89.21 m²
52	Not Placed	Health and Wellbeing	Not Placed
52	Level 01 - First Floor TOS	Manager's Office	12.29 m²
53	Not Placed	Group Room	Not Placed
53	Level 01 - First Floor TOS	Server Cupboard	2.29 m²
54	Not Placed	1to1 Room	Not Placed
54	First Floor Raised Slab	Board Room	28.99 m²
55	Level 01 - First Floor TOS	1to1 Room	6.05 m²
56	First Floor Raised Slab	Health & Wellbeing	26.73 m²
57	Not Placed	Rec Store	Not Placed
57	First Floor Raised Slab	Group Room	40.78 m²
58	First Floor Raised Slab	MUGA	341.66 m²
59	First Floor Raised Slab	Fire Escape Stair	24.63 m²
60	First Floor Raised Slab	Riser	4.45 m²
60	Level 02 - Lower Roof SSL	Plant Room	43.58 m²
61	Not Placed	Shower 2	Not Placed
61	Level 02 - Lower Roof SSL	Main Stair	22.69 m²
62	Not Placed	Shower 3	Not Placed
62	Level 02 - Lower Roof SSL	Room	24.63 m²
63	Not Placed	Shower 4	Not Placed
63	Level 02 - Lower Roof SSL	Room	4.45 m²
64	First Floor Raised Slab	Circulation	61.21 m²
68	Not Placed	D/WC	Not Placed
75	Not Placed	Fire Escape Stair	Not Placed
77	Not Placed	Room	Not Placed
84	Not Placed	Services	Not Placed
85	Level 00 - Ground Floor	Room	3.96 m²

Area Type Key			
Communal Spaces	Office / Staff Spaces		
Group / Activity Spaces	Wet Rooms		
Sports Spaces	Stores / Other		

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REV	DESCRIPTION	DATE	DRAWN	CHECK
P01	Issued for planning	08/12/22	TB	SG

DRAWING SCALE:

1:200 @ A1

0 5m 10m
1:200

KEY PLAN (NTS):

N

A B C D

CLIENT:

OnSide

PROJECT TITLE:	PROJECT NO:
Crewe Youth Zone	20618

DRAWING TITLE:

Proposed Area Plans

DRAWING NO:

PROJECT	ORIGIN	ZONE	LEVEL	TYPE	ROLE	NO.#	REVISION
CYZ	SEV	ZZ	ZZ	DR	A	02030	P01

SUITABILITY DESCRIPTION

REVISION DESCRIPTION PLANNING

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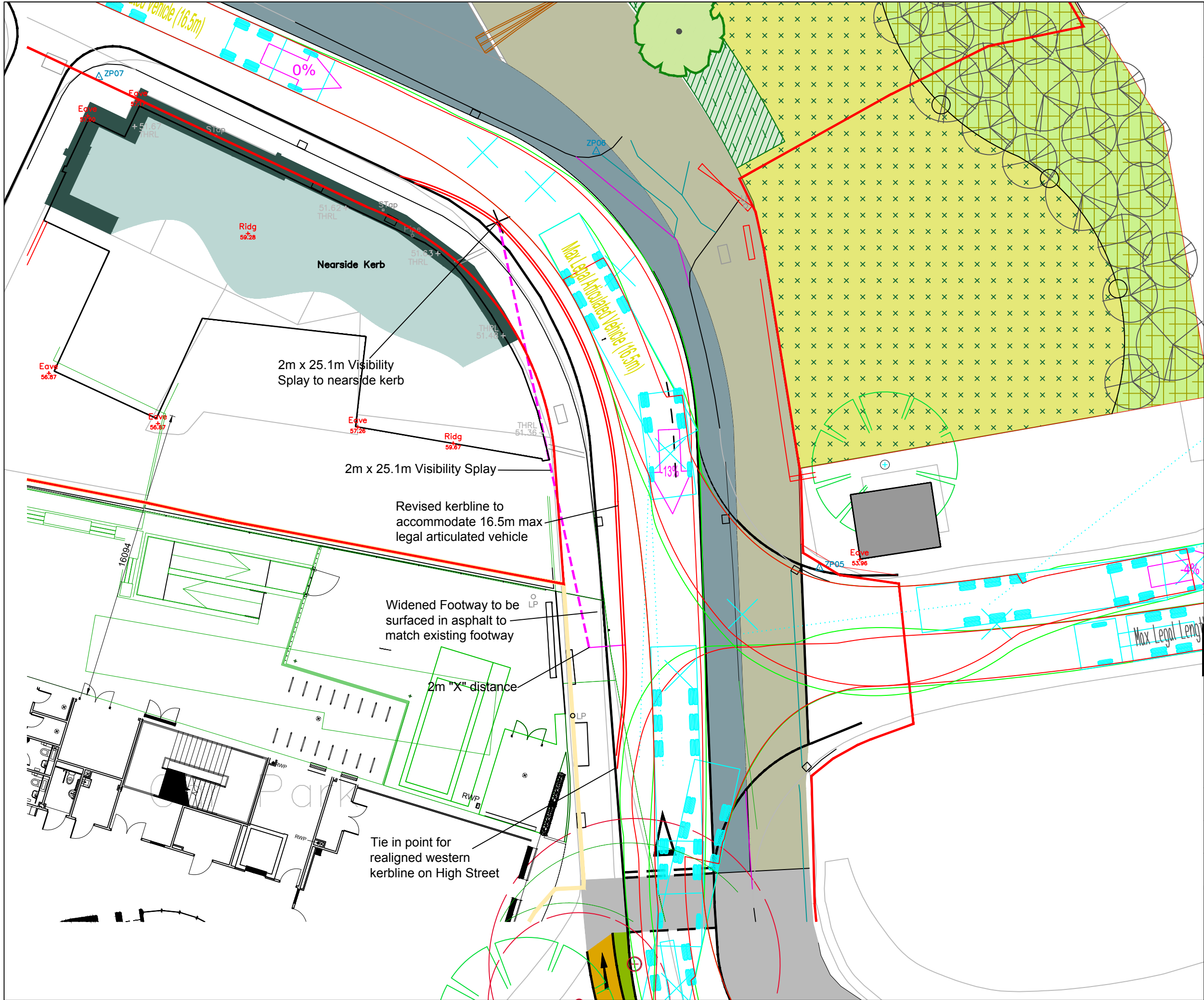
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M4 6LN
t: 0161 236 5655

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Victoria Avenue
HARROGATE
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t: 01423 709 807

Y Neuadd Llyod
Dolwyddelan
CONWY
LL25 0SJ
t: 07772819425

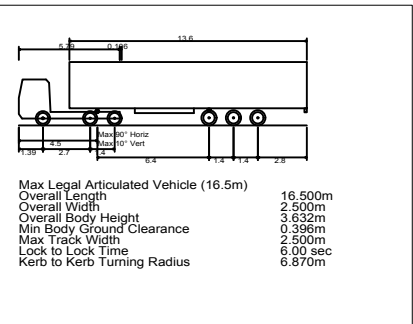
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NOTES

- Realigned kerb
- 2m x 25.1m visibility splay



Revision Details	By	Date	Suffix
	Check		

Drawing Number	SK22222-111
----------------	-------------

Crewe Youth Zone

Drawing Title	Revised Western Kerb Alignment on High Street
---------------	---

Scale at A3	1:200
-------------	-------

Drawn	KAT	Approved	MAK
-------	-----	----------	-----

Check	KAT	Date	15/06/23
-------	-----	------	----------

SK Transport Planning Ltd
Albion Wharf, 19 Albion Street
Manchester M1 5LN
Telephone (0161) 234 6509
Fax (0161) 236 7959





Crewe Youth Zone
SITE VIEW FROM ABOVE

PROJECT NO. 20618
DRAWING NO. CYZ-SEV-ZZ-DR-A-00103
REVISION | DATE P01 | 09 December 2022

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Section A
1:100



Section B
1:100



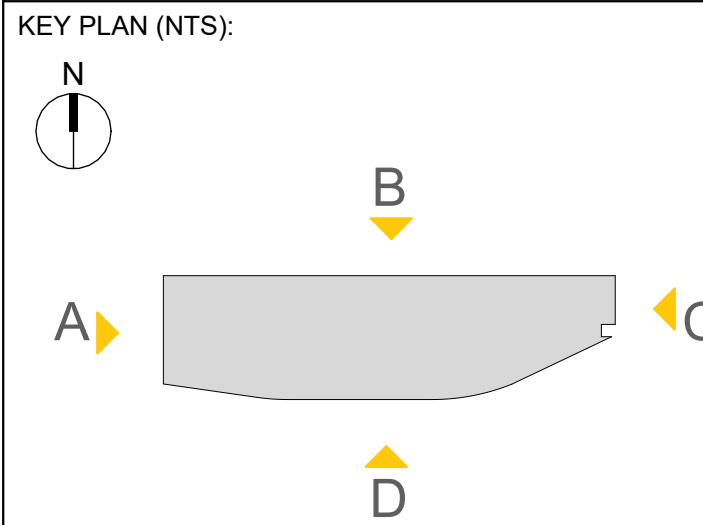
Section C
1:100

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REV	DESCRIPTION	DATE	DRAWN	CHECK
P01	Issued for planning	08/12/22	TS	SG

DRAWING SCALE:
1:100 @ A0



CLIENT:
OnSide

PROJECT TITLE:
Crewe Youth Zone

PROJECT NO:
20618

DRAWING TITLE:
Proposed GA Sections

PROJECT	ORIGIN	ZONE	LEVEL	TYPE	ROLE	NO. #	REVISION
CYZ	SEV	ZZ	ZZ	DR	A	03040	P01

REASON:
DESCRIPTION

PLANNING

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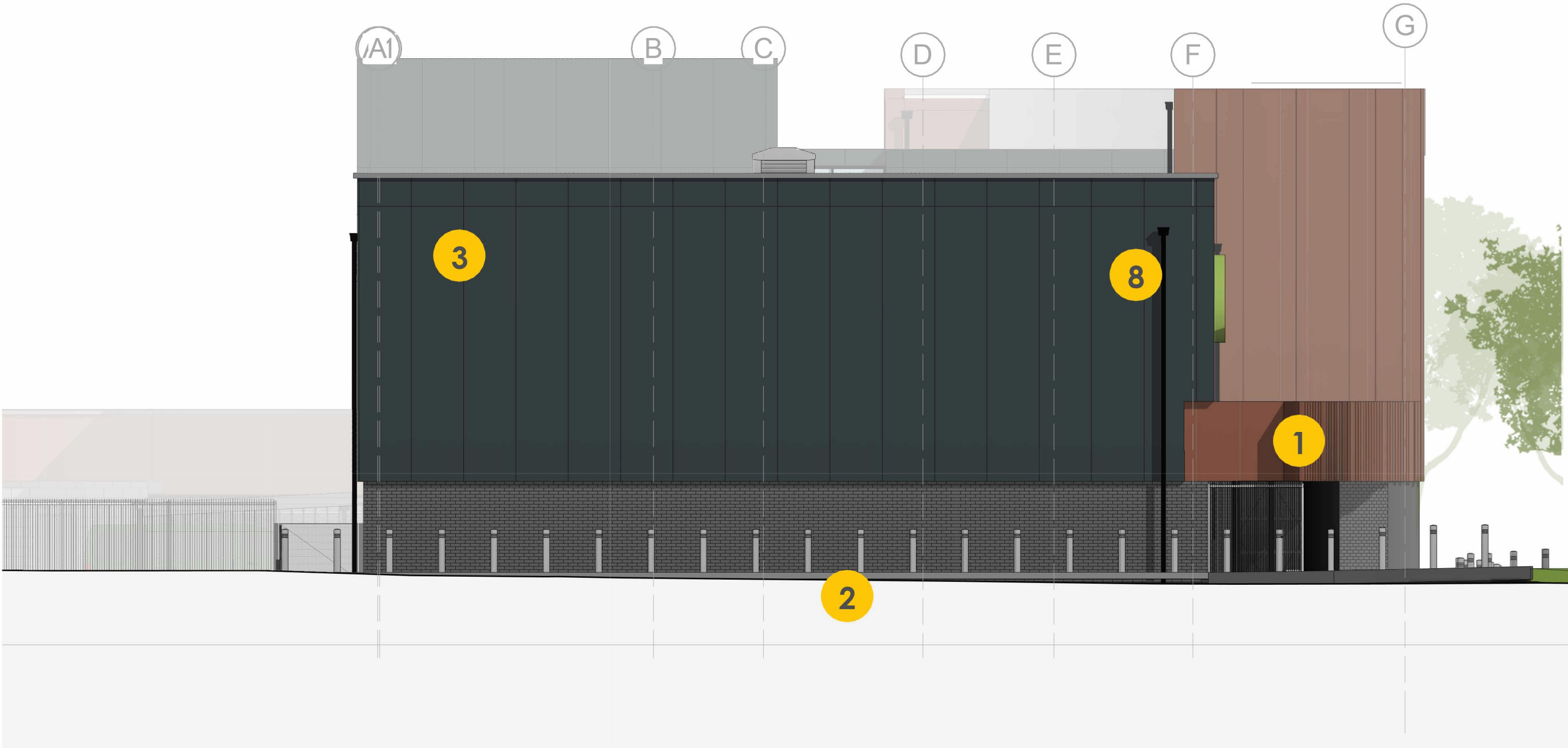
24 Groveville Street
Clarendon
LONDON
E: 0203 036 0691



SOUTH_ELEVATION D



EAST_ELEVATION C



WEST_PROPOSED A



NORTH_ELEVATION B

Materials Key

- 1 Metal Rainscreen Cladding System
- 2 Blockleys Synthesis S19 Grey Brick with grey recessed mortar
- 3 Composite Insulated Metal Cladding System
- 4 PPC louvres glazed in with blanking plates
- 5 Green climbing plant wall
- 6 Aluminium doors and windows (and spandrels) Anthracite Grey
- 7 Automatic Roller Shutter Anthracite Grey
- 8 uPVC rainwater goods Anthracite Grey

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REV.	DESCRIPTION	DATE	DRAWN	CHECKED
S01	Drawn based for costing	11/10/22	TB	SG
S02	Steel core window reduced in size	14/10/22	TB	SG
S03	Coordinated with Structure	08/11/22	TB	SG
S04	Updated following coordination with architect	23/11/22	TB	SG
P01	Issued for planning	08/12/22	TB	SG
T01	Issued for Tender	20/03/23	TB	SG
T02	Updated Planning Drawing	17/05/23	TB	SG
T03	Fence added to Sports Hall fire escape	06/06/23	TB	SG

U-VALUES W/m2K
Walls = 0.18
Floors = 0.12
Flat Roof = 0.15
Windows = 1.8
Personnel Doors = 1.8
air permeability of 3 m3/(h.m2) at 50 Pa

FIRE
All cladding panels to provide 60 minutes integrity from outside and 15 minutes internally

DRAWING SCALE:
1:100 @ A0

KEY PLAN (NTS):

CLIENT:
OnSide

PROJECT TITLE: Crewe Youth Zone	PROJECT NO: 20618
---	-----------------------------

DRAWING TITLE:
Proposed External Elevations

DRAWING NO:						
PROJECT	ORIGIN	ZONE	LEVEL	TYPE	ROLE	NO. / REVISION
CYZ	SEV	ZZ	Z0	DR	A	03030 T03

REVISION DESCRIPTION	(S3) Suitable For Comment
REVISION DESCRIPTION	TENDER

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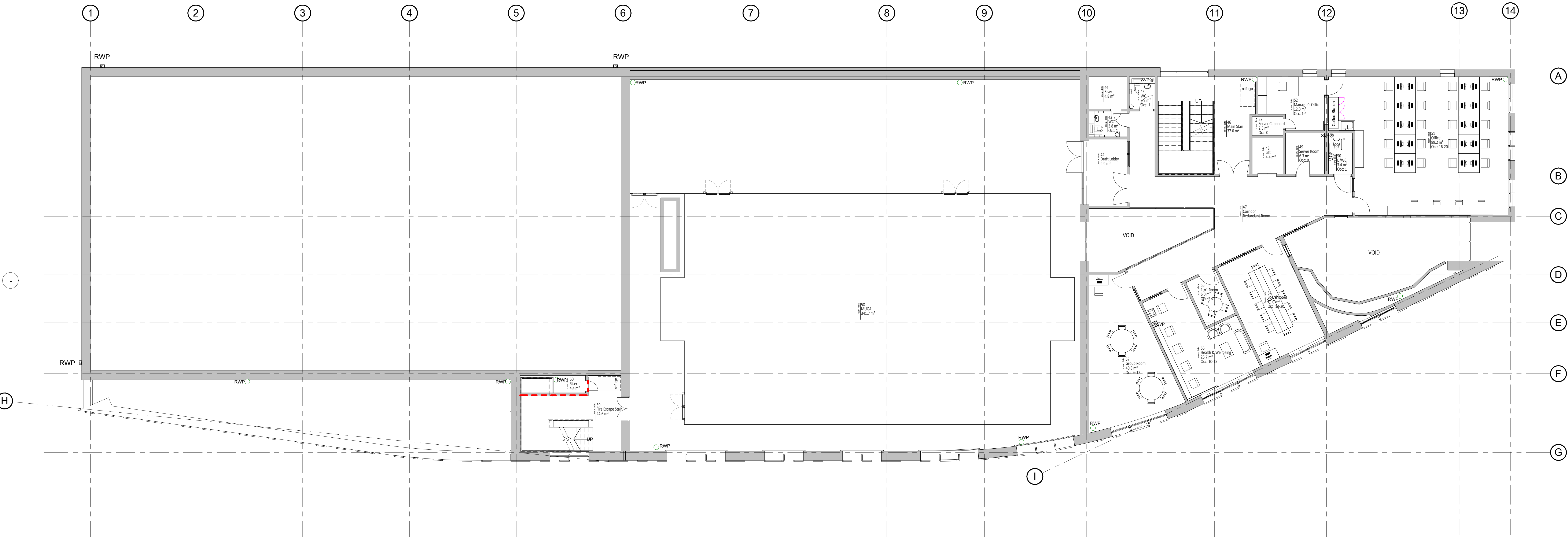
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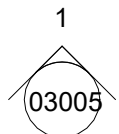
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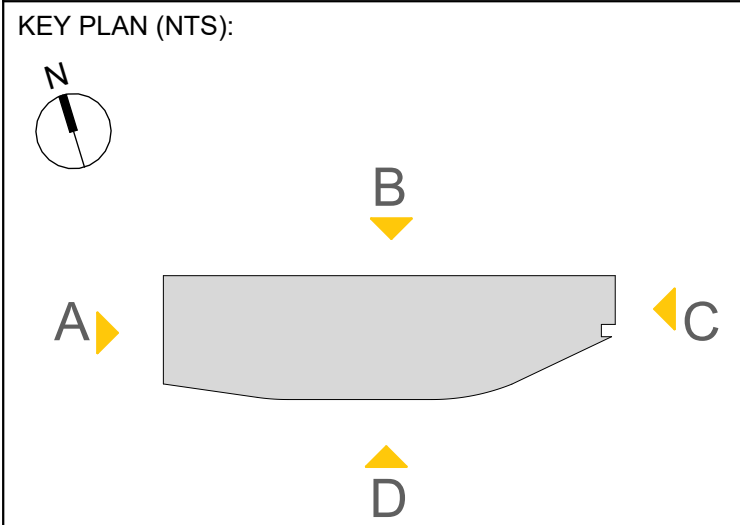


Level 01 - First Floor



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REV	DESCRIPTION	DATE	DRAWN CHECK
S01	First Issue	08/11/22	TB SG
S02	Updated following coordination with structure	23/11/22	TB SG
P01	Issued for planning	08/12/22	TB SG

DRAWING SCALE:
1:100 @ A0



CLIENT:
OnSide

PROJECT TITLE:
Crewe Youth Zone

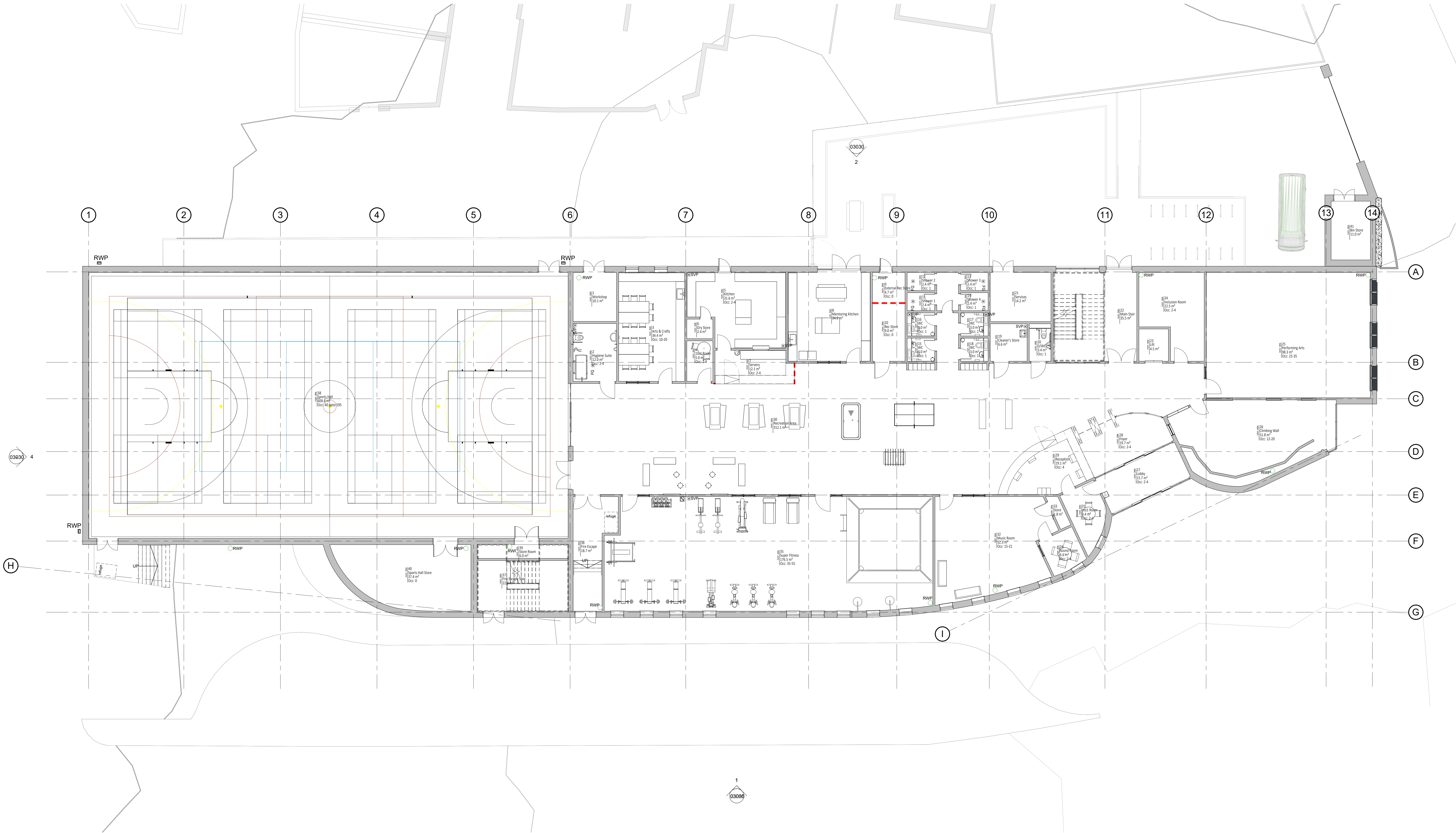
PROJECT NO:
20618

DRAWING TITLE:
Level 01/02 - Proposed FF Plan

DRAWING NO:									
PROJECT	ORIGIN	ZONE	LEVEL	TYPE	ROLE	NO. #	REVISION		
CYZ	SEV	ZZ	01	DR	A	02021	P01		

REASON:
DESCRIPTION

PLANNING



Level 00 - Ground Floor

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REV	DESCRIPTION	DATE	DRAWN	CHECK
S01	First Issue	08/11/22	TB	SG
S02	Updated following coordination with structures	23/11/22	TB	SG
P01	Issued for planning	08/12/22	TB	SG

DRAWING SCALE:
1:100 @ A0

KEY PLAN (NTS):

CLIENT:
OnSide

PROJECT TITLE:
Crewe Youth Zone

PROJECT NO:
20618

DRAWING TITLE:
Level 00 - Proposed GF Plan

DRAWING NO:							
PROJECT	ORIGIN	ZONE	LEVEL	TYPE	ROLE	NO. #	REVISION
CYZ	SEV	ZZ	00	DR	A	02020	P01

STATUS:
(S0) Work In Progress

REASON:
PLANNING

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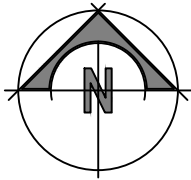
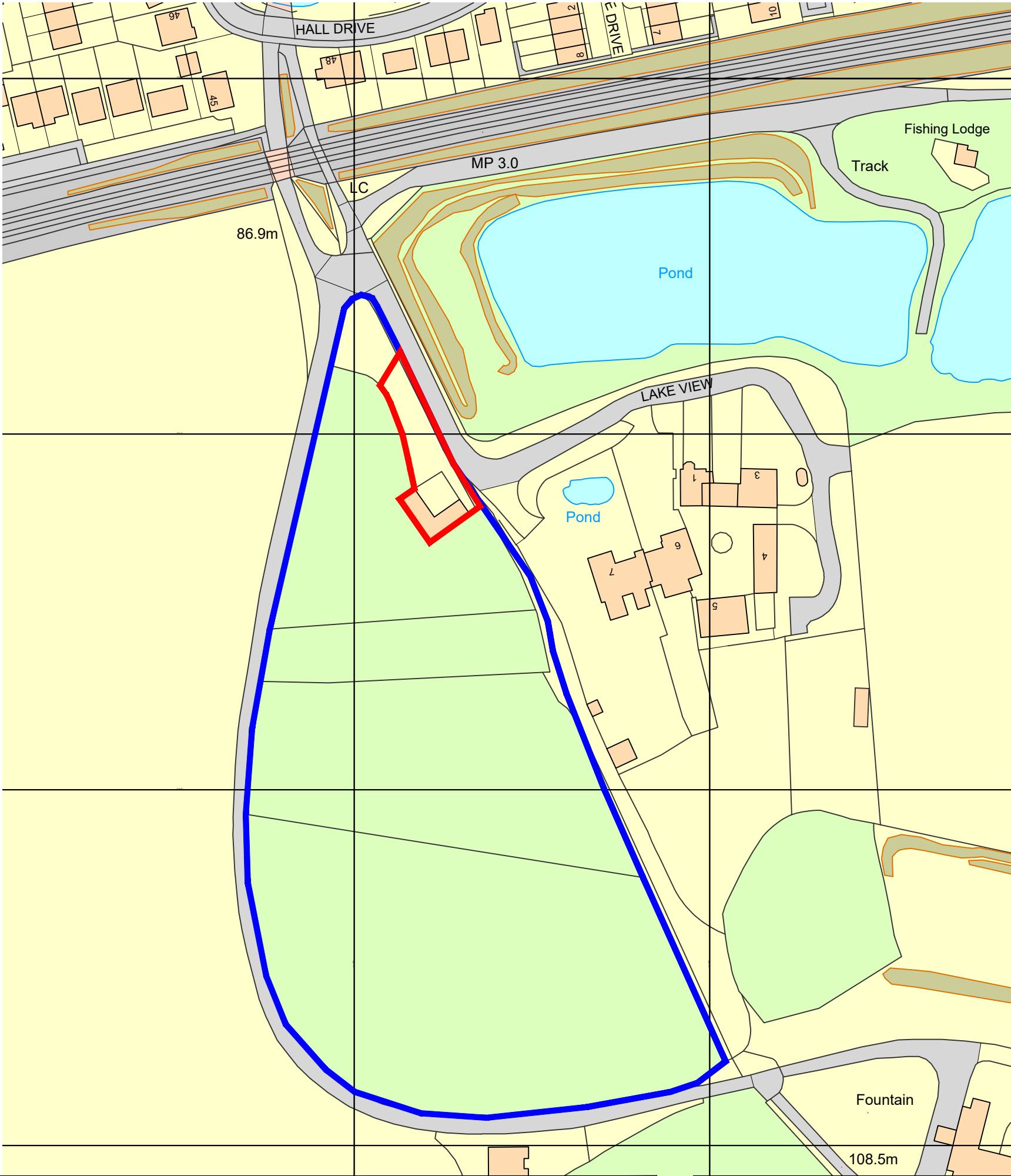
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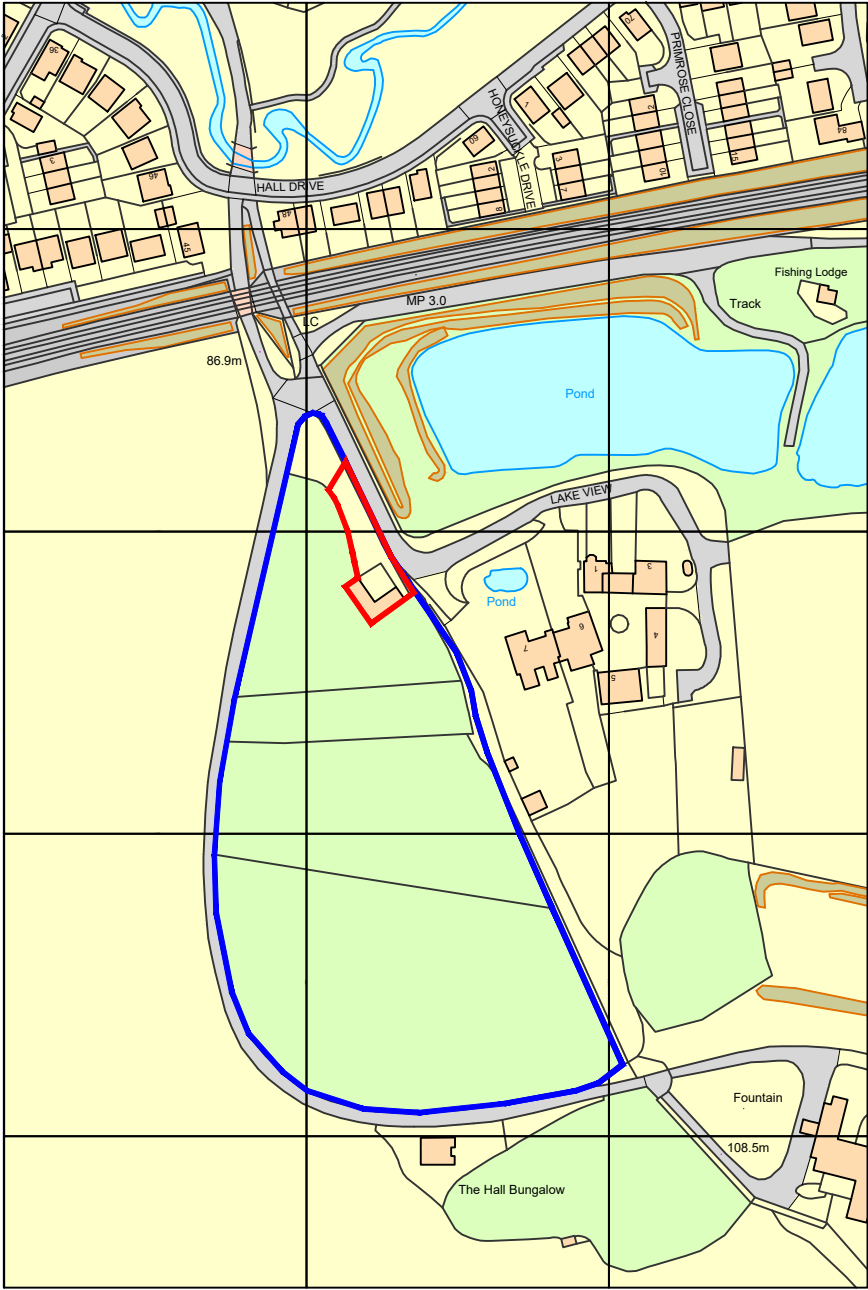
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Page 63

22/3942C
The Teardrop Paddock,
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ALSAGER,
ST7 2UD



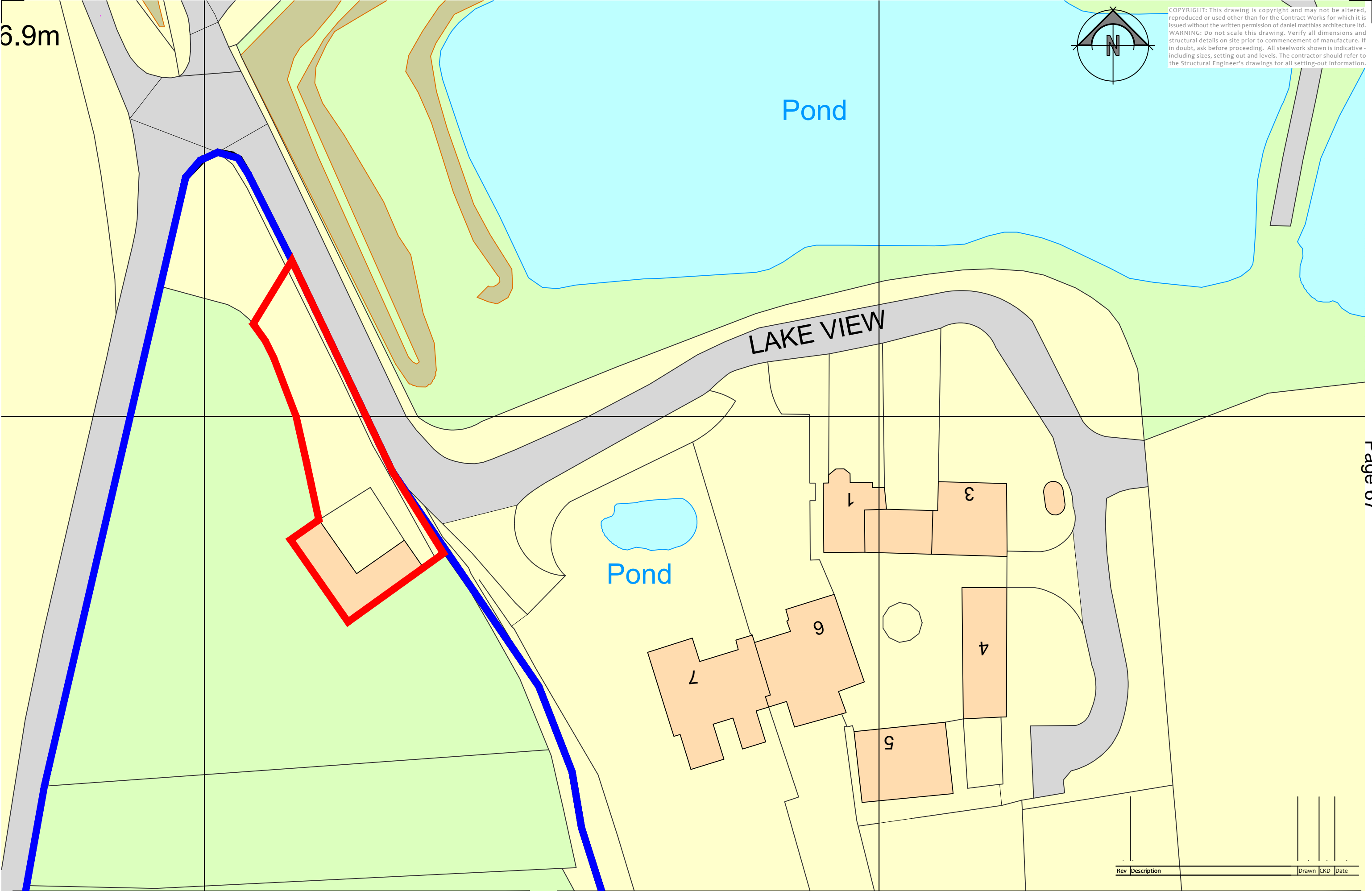
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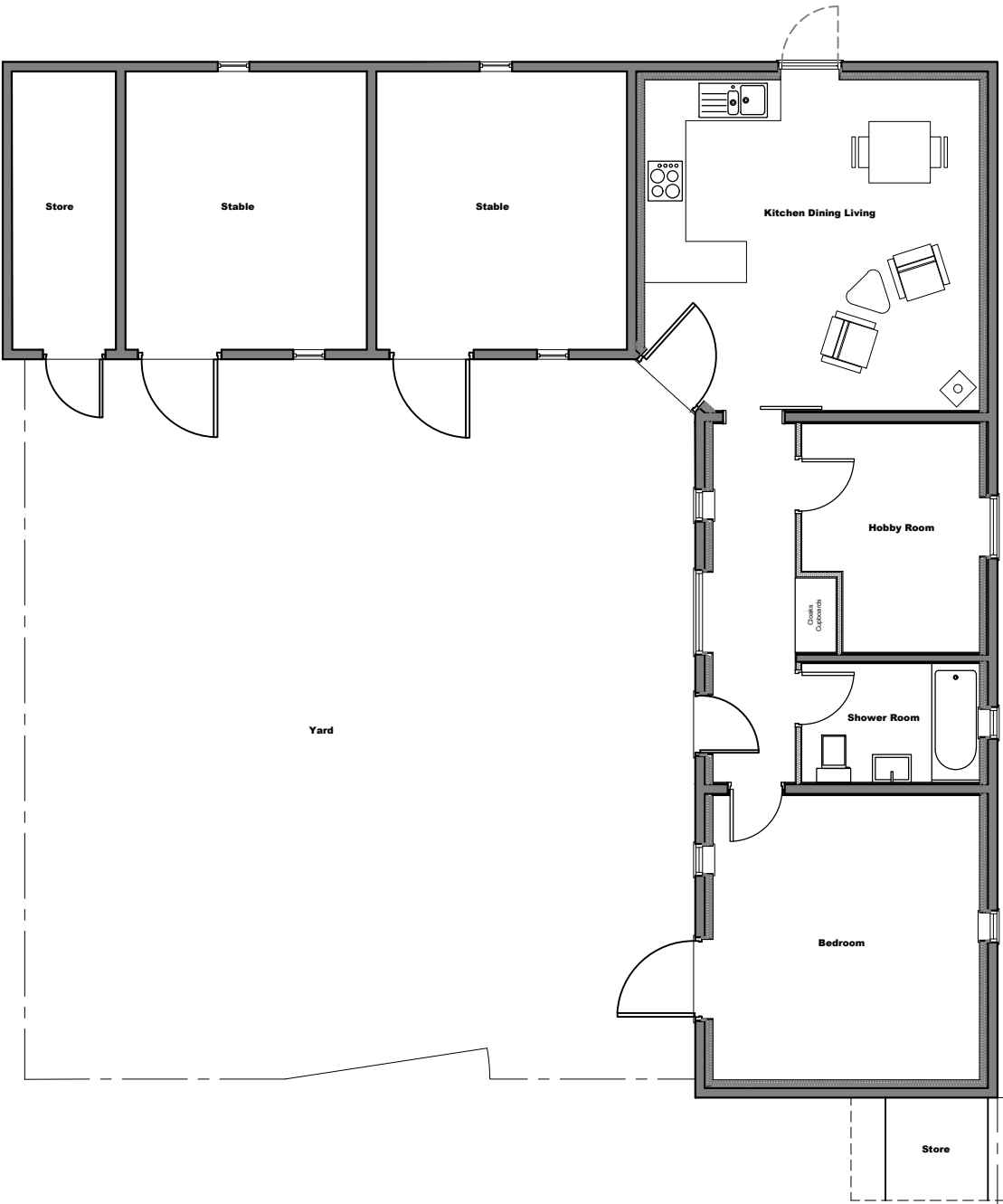
Location Plan @ 1:2500

Rev	Description	Drawn	KCD	Date



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Rev	Description	Drawn	KKD	Date
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Rev	Description	Drawn	KKD	Date